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Attachment A

State of New Hampshire

Filing fee: \$100.00
Use black print or type.

Filed
Date Filed : 01/10/2019 04:30:00 PM
Effective Date : 01/10/2019 04:30:00 PM
Filing # : 4375256 Pages : 3
Business ID : 810511
William M. Gardner
Secretary of State
State of New Hampshire

CERTIFICATE OF FORMATION NEW HAMPSHIRE LIMITED LIABILITY COMPANY

THE UNDERSIGNED, under the New Hampshire Limited Liability Company Laws submits the following certificate of formation:

FIRST: The name of the limited liability company is Evans Family LLC

Principal Business Information:

Principal Office Address: 20 Auburn Road Londonderry NH 03053
(no. & street) (city/town) (state) (zip code)

Principal Mailing Address (if different): _____
(no. & street) (city/town) (state) (zip code)

Business Phone: 434-7911

Business Email: treetopair@gmail.com

Please check if you would prefer to receive the courtesy Annual Report Reminder by email.

SECOND: Describe the nature of the primary business or purposes (and if known, list the NAICS Code and Sub Code): To acquire, own, improve, lease, operate and hold real properties and other assets for investment. The company may also engage in any and all activities which may be necessary, incidental or convenient to carry on the Company's above-stated purpose.

THIRD: The name of the limited liability company's registered agent is:

Morgan A. Hollis, Esquire

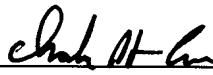
The complete address of its registered office (agent's business address) is:

39 East Pearl Street, Nashua, NH 03060-3407
(no. & street) (city/town) (state) (zip code)

FOURTH: The management of the limited liability company is vested in a manager or managers.

CERTIFICATE OF FORMATION OF A
NEW HAMPSHIRE LIMITED LIABILITY COMPANY

Form LLC-1
(Cont.)

*Signature: 
Print or type name: Charles H. Evans
Title: Manager
(Enter "manager" or "member")
Date signed: 12/28/10

Note: The sale or offer for sale of membership interests of the limited liability company will comply with the requirements of the New Hampshire Uniform Securities Act (RSA 421-B). The membership interests of the limited liability company: 1) have been registered or when offered will be registered under RSA 421-B; 2) are exempted or when offered will be exempted under RSA 421-B; 3) are or will be offered in a transaction exempted from registration under RSA 421-B; 4) are not securities under RSA 421-B; OR 5) are federal covered securities under RSA 421-B. The statement above shall not by itself constitute a registration or a notice of exemption from registration of securities within the meaning of sections 448 and 461(i)(3) of the United States Internal Revenue Code and the regulation promulgated thereunder.

* Must be signed by a **manager**; if no manager, must be signed by a **member**.

DISCLAIMER: All documents filed with the Corporation Division become public records and will be available for public inspection in either tangible or electronic form.

Mailing Address - Corporation Division, NH Dept. of State, 107 N Main St, Rm 204, Concord, NH 03301-4989
Physical Location - State House Annex, 3rd Floor, Rm 317, 25 Capitol St, Concord, NH

EVANS FAMILY LIMITED PARTNERSHIP
20 Auburn Road
Londonderry, New Hampshire 03053

January 2, 2019

Corporate Division
N.H. Department of State
State House, Room 204
107 North Main Street
Concord, New Hampshire 03301-4989

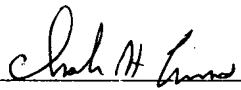
Re: Evans Family LLC

Dear Sir/Madam:

I, Charles H. Evans, a duly authorized general partner in Evans Family Limited Partnership, do hereby consent on behalf of the partnership to the use of the name "Evans Family LLC" by Charles H. Evans, as the Manager/Member for "Evans Family LLC".

Very truly yours,

EVANS FAMILY LIMITED PARTNERSHIP

By:  _____
Charles H. Evans, Duly Authorized General Partner

CHE:jlh

F:\2018\18-326\documents\consent to use of name 1-2-19.docx



State of New Hampshire

Department of State

2024 ANNUAL REPORT

Filed
Date Filed: 3/21/2024
Effective Date: 3/21/2024
Business ID: 810511
David M. Scanlan
Secretary of State

BUSINESS NAME: EVANS FAMILY LLC
BUSINESS TYPE: Domestic Limited Liability Company
BUSINESS ID: 810511
STATE OF FORMATION: New Hampshire

CURRENT PRINCIPAL OFFICE ADDRESS	CURRENT MAILING ADDRESS
20 Auburn Rd Londonderry, NH, 03053, USA	20 Auburn Rd Londonderry, NH, 03053, USA

REGISTERED AGENT AND OFFICE	
REGISTERED AGENT: Hollis Morgan A Esquire	
REGISTERED AGENT OFFICE ADDRESS: 39 East Pearl Street Nashua, NH, 03060, USA	

PRINCIPAL PURPOSE(S)	
NAICS CODE	NAICS SUB CODE
OTHER / To acquire, own, improve, lease, operate and hold real properties and other assets for investment. The company may also engage in any and all activities which may be necessary, incidental or convenient to carry on the Company's above-stated purpose.	

MANAGER / MEMBER INFORMATION		
NAME	BUSINESS ADDRESS	TITLE
Charles Evans	20 Auburn Road, Londonderry, NH, 03053, USA	Manager

I, the undersigned, do hereby certify that the statements on this report are true to the best of my information, knowledge and belief.

Title: **Manager**

Signature: **Charles Evans**

Name of Signer: **Charles Evans**

Attachment B

[Search](#) [Street Listing](#) [Sales Search](#) [Feedback](#) [Back](#) [Home](#)

13 PAGE RD

[Sales](#) [Print](#) [Field Card](#) [Map It](#)

Location	13 PAGE RD	Mblu	017/ 027/ 0/ /
Acct#	3250	Owner	RHINO PAGE ROAD OWNER LLC
PBN		Assessment	\$1,138,600
Appraisal	\$1,138,600	PID	3201
Building Count	1		

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2024	\$0	\$1,138,600	\$1,138,600

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$0	\$1,138,600	\$1,138,600

Owner of Record

Owner	RHINO PAGE ROAD OWNER LLC	Sale Price	\$2,500,000
Co-Owner		Certificate	
Address	2 INTERNATIONAL PLACE #2410 BOSTON, MA 02110	Book & Page	6503/153
		Sale Date	08/25/2023
		Instrument	99

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
RHINO PAGE ROAD OWNER LLC	\$2,500,000		6503/153	99	08/25/2023
EVANS CHARLES H	\$0		5863/1262	38	10/18/2017
EVANS FAMILY LTD PARTNERSHIP	\$0		3882/2168	99	11/12/2002
EVANS, JOHN ROBERT JR	\$0		3533/170	38	01/09/2001
EVANS JOHN R TRUST	\$0		2777/108	00	01/09/1989

Building Information

Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost
Less Depreciation: \$0

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Grade	
Stories	
Foundation	
Exterior Wall 1	
Exterior Wall 2	
Roof Structure	
Roof Cover	
Interior Wall 1	
Interior Wall 2	
Interior Floor 1	
Interior Floor 2	
Heat Fuel	
Heat Type	
AC Percent	
Bedrooms	
Full Baths	
Half Baths	
Extra Fixtures	
Total Rooms	
Bath Rating	
Kitchen Rating	
Extra Kitchens	
Interior/Exterior	
2nd Floor %	
Fireplace Rating	
MH Park	
Electric	
Insulation	
Unfinished Area	
Fireplace(s)	
2nd Ext Wall %	
Basement Area	
Bsmt Garage	
WS Flues	
2nd Heat Type	
# Heat Systems	
% Heated	
View	
Frame	
Basement Floor	
# of Units	
WS Flue Rating	
Solar Hot Water	
Central Vac	
2nd % Heated	

Building Photo



Building Layout

Building Sub-Areas (sq ft)	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use		Land Line Valuation	
Use Code	3900	Size (Acres)	13.88
Description	Vacant Land Dev	Frontage	
Zone	C-II	Depth	
Neighborhood	320	Assessed Value	\$1,138,600
Alt Land Appr Category	No	Appraised Value	\$1,138,600

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

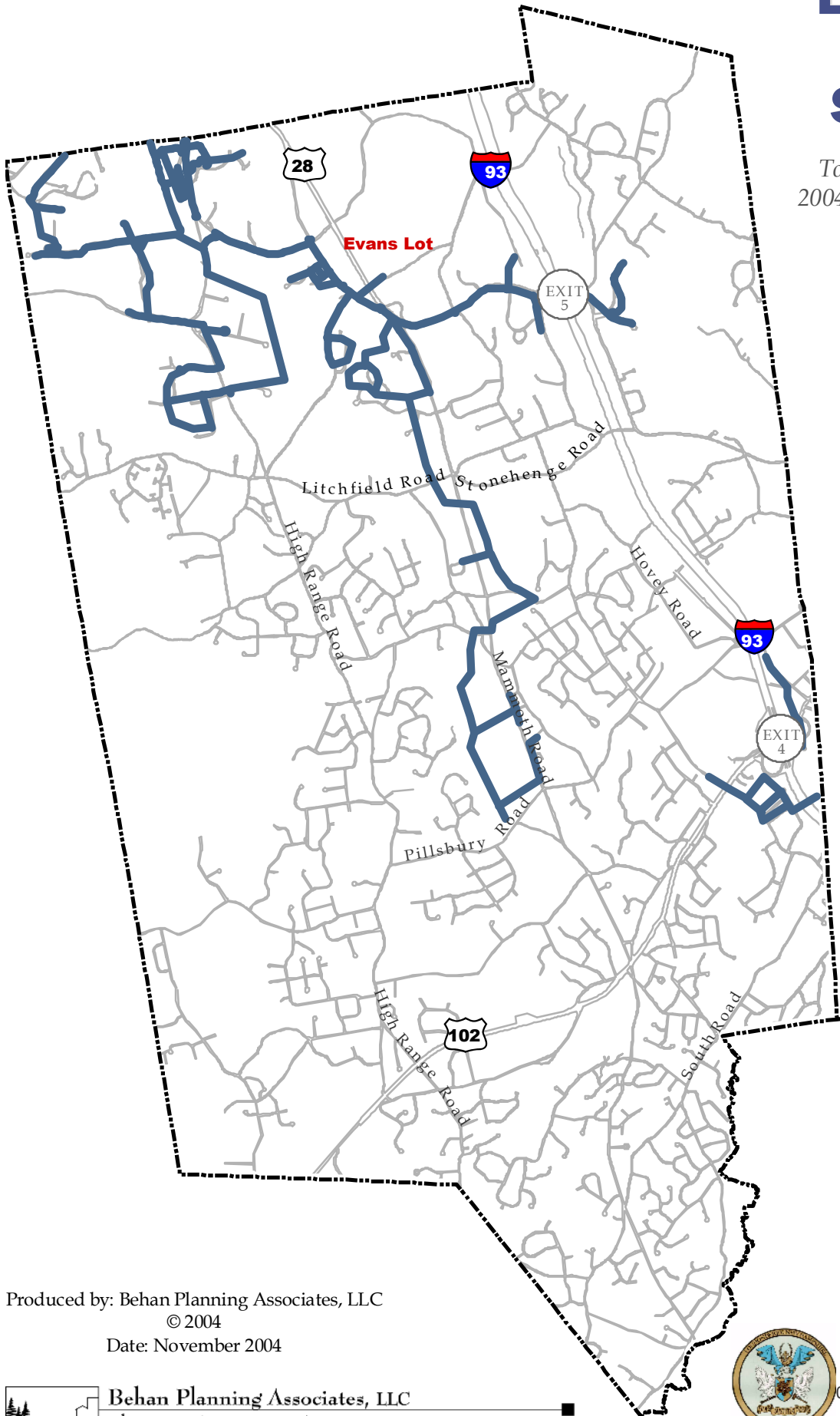
Appraisal			
Valuation Year	Improvements	Land	Total
2023	\$0	\$1,138,600	\$1,138,600
2023	\$0	\$830,400	\$830,400
2022	\$0	\$830,400	\$830,400

Assessment			
Valuation Year	Improvements	Land	Total
2023	\$0	\$1,138,600	\$1,138,600
2023	\$0	\$830,400	\$830,400
2022	\$0	\$830,400	\$830,400

Attachment C

Map #8: Existing Sewer Service

Town of Londonderry
2004 Master Plan Update



Produced by: Behan Planning Associates, LLC
© 2004
Date: November 2004



Attachment D

MAP 17, LOT 45
 SITE PLAN

PROPOSED SEWER MAIN EXTENSION and PAGE ROAD IMPROVEMENTS

14 PAGE RD. & 280 ROCKINGHAM RD.
 LONDONDERRY, NEW HAMPSHIRE



VICINITY PLAN
 SCALE: 1" = 2,500'

PREPARED FOR/ RECORD OWNER

EVANS FAMILY LIMITED PARTNERSHIP

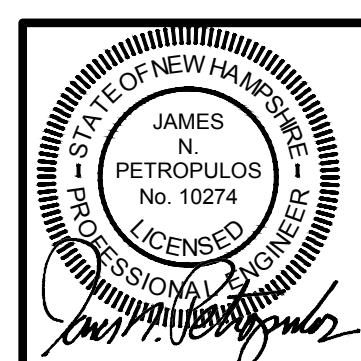
20 AUBURN ROAD
 LONDONDERRY, NEW HAMPSHIRE 0303053
 (603) 930-7911

10 APRIL 2023

PRELIMINARY DESIGN REVIEW			
No.	DATE	REVISION	BY

INDEX OF PLANS

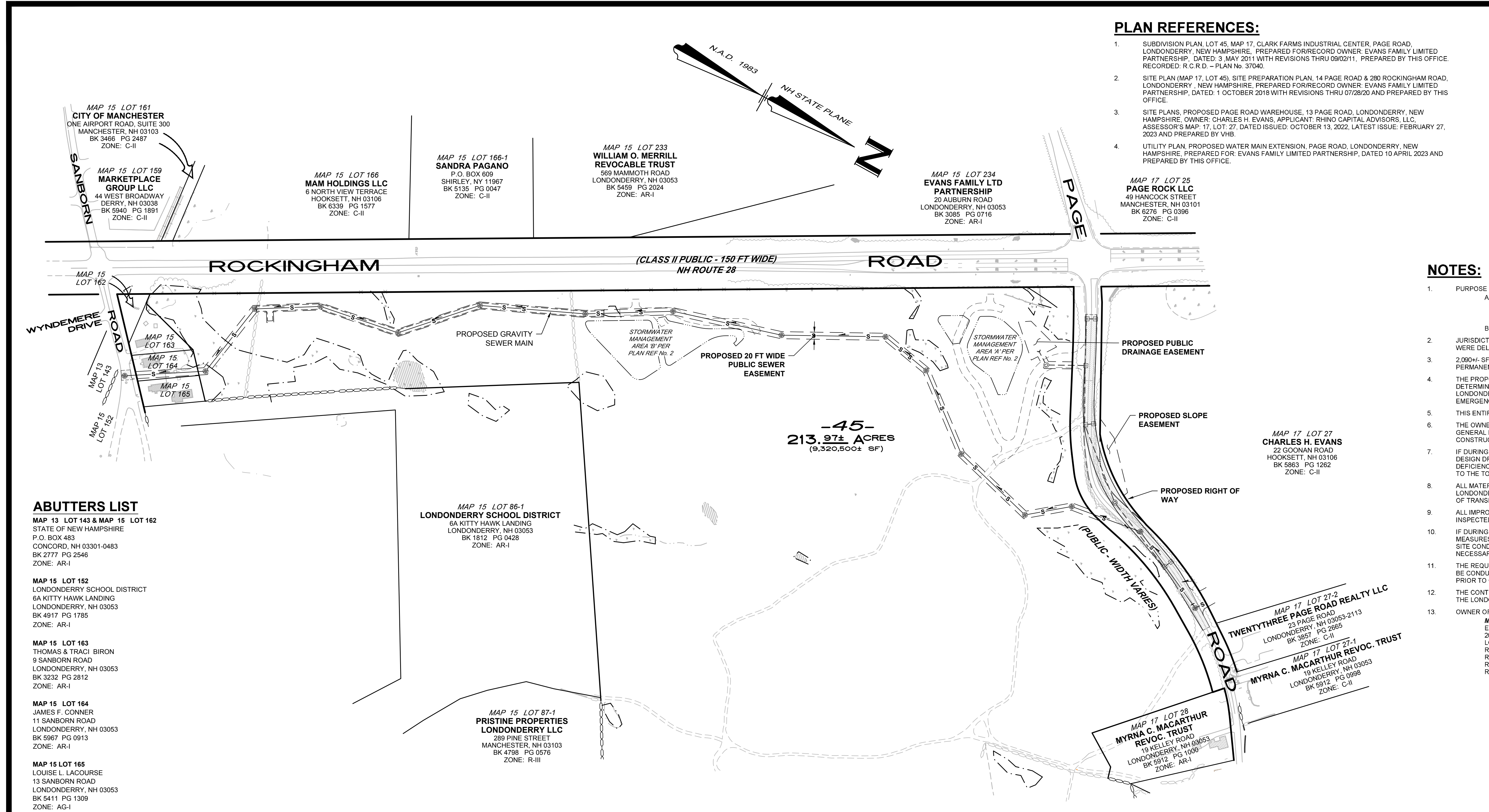
SHEET No.	TITLE	
1 OF 7	MASTER SITE PLAN	1" = 150'
2 OF 7	PLAN AND PROFILE - SEWER EXTENSION STA 0+00 TO 12+00	1" = 40' H 1" = 4' V
3 OF 7	PLAN AND PROFILE - SEWER EXTENSION STA 12+00 TO 24+00	1" = 40' H 1" = 4' V
4 OF 7	PLAN AND PROFILE - SEWER EXTENSION STA 24+00 TO PAGE ROAD	1" = 40' H 1" = 4' V
5 OF 7	PLAN AND PROFILE - PAGE ROAD IMPROVEMENTS AND WIDENING	1" = 40' H 1" = 4' V
6-7 OF 7	DETAIL SHEET - GENERAL	



HSI Hayner/Swanson, Inc.

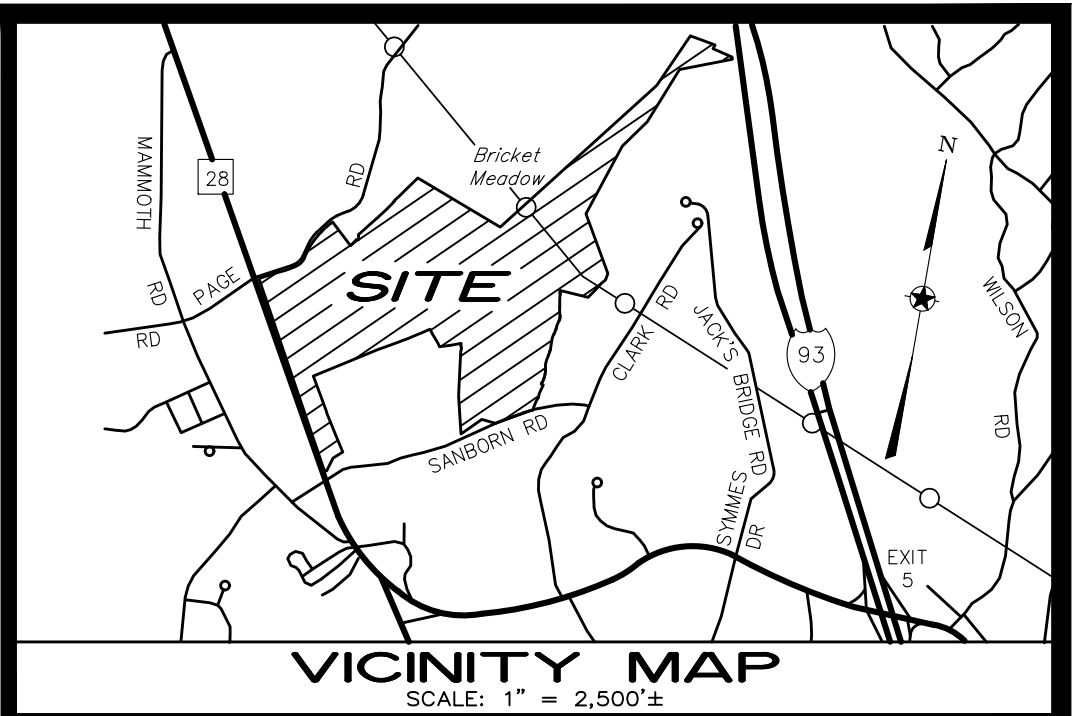
Civil Engineers/Land Surveyors
 3 Congress Street Nashua, NH 03062 (603) 883-2057
 131 Middlesex Turnpike Burlington, MA 01803 (781) 203-1501
 www.hayner-swanson.com





PLAN REFERENCES:

- SUBDIVISION PLAN, LOT 45, MAP 17, CLARK FARMS INDUSTRIAL CENTER, PAGE ROAD, LONDONDERRY, NEW HAMPSHIRE, PREPARED FOR/RECORD OWNER EVANS FAMILY LIMITED PARTNERSHIP, DATED 3 MAY 2011 WITH REVISIONS THRU 09/02/11, PREPARED BY THIS OFFICE. RECORDED: R.C.R.D. - PLAN No. 37040.
- SITE PLAN (MAP 17, LOT 45), SITE PREPARATION PLAN, 14 PAGE ROAD & 280 ROCKINGHAM ROAD, LONDONDERRY, NEW HAMPSHIRE, PREPARED FOR/RECORD OWNER: EVANS FAMILY LIMITED PARTNERSHIP, DATED: 1 OCTOBER 2018 WITH REVISIONS THRU 07/28/20 AND PREPARED BY THIS OFFICE.
- SITE PLANS, PROPOSED PAGE ROAD WAREHOUSE, 13 PAGE ROAD, LONDONDERRY, NEW HAMPSHIRE, OWNER: CHARLES H. EVANS, APPLICANT: RHINO CAPITAL ADVISORS, LLC, ASSESSOR'S MAP: 17, LOT: 27, DATED ISSUED: OCTOBER 13, 2022, LATEST ISSUE: FEBRUARY 27, 2023 AND PREPARED BY VHB.
- UTILITY PLAN, PROPOSED WATER MAIN EXTENSION, PAGE ROAD, LONDONDERRY, NEW HAMPSHIRE, PREPARED FOR: EVANS FAMILY LIMITED PARTNERSHIP, DATED 10 APRIL 2023 AND PREPARED BY THIS OFFICE.



NOTES:

- PURPOSE OF PLAN:
 - TO SHOW PROPOSED PUBLIC SEWER MAIN IMPROVEMENTS TO BE CONSTRUCTED FROM AN EXISTING SANITARY SEWER MAIN IN SANBORN ROAD, CROSS-COUNTRY THROUGH MAP 15, LOT 164 AND MAP 17, LOT 45 TO PAGE ROAD IN LONDONDERRY, NH.
 - TO SHOW PAGE ROAD WIDENING IMPROVEMENTS.
- JURISDICTIONAL WETLANDS ADJACENT TO THE PROPOSED SEWER MAIN CONSTRUCTION ROUTE WERE DELINEATED BY BAG LAND SERVICES AND LOCATED BY HAYNER/SWANSON, INC.
- 2,892± SF OF TEMPORARY JURISDICTIONAL WETLAND DISTURBANCE AND 1,700± SF OF PERMANENT WETLAND BUFFER DISTURBANCE ARE PROPOSED BY THIS SEWER PROJECT.
- THE PROPOSED WORK AREA IS LOCATED WITHIN AN AREA OF MINIMAL FLOOD HAZARD, ZONE X, AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), ROCKINGHAM COUNTY TOWN OF LONDONDERRY, NEW HAMPSHIRE, COMMUNITY No. 330134, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33015C0316E, DATED: MAY 17, 2005.
- THIS ENTIRE PLAN SET IS ON FILE AT THE LONDONDERRY TOWN OFFICES.
- THE OWNER/CONTRACTOR IS REQUIRED TO FILE AN EPA-NPDES NOTICE OF INTENT UNDER GENERAL PERMIT No. NHRI00000 AT LEAST FIFTEEN (15) DAYS PRIOR TO START OF CONSTRUCTION.
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE PROPONENT'S CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE APPLICABLE REGULATIONS AT NO EXPENSE TO THE TOWN OF LONDONDERRY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF LONDONDERRY REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- ALL IMPROVEMENTS SPECIFIED ON THESE PLANS SHALL BE CONSTRUCTED, COMPLETED, AND INSPECTED AND APPROVED BY THE TOWN OF LONDONDERRY PRIOR TO BEING PUT INTO SERVICE.
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION AREA DUE TO ACTUAL SITE CONDITIONS, THE PROPONENT'S CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN OF LONDONDERRY.
- THE REQUIRED BONDING SHALL BE PUT INTO PLACE AND A PRECONSTRUCTION MEETING SHALL BE CONDUCTED WITH TOWN OF LONDONDERRY AND MANCHESTER WATER WORKS PERSONNEL PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE LONDONDERRY DEPT. OF PUBLIC WORKS.
- OWNER OF RECORD:

MAP 17, LOT 45
EVANS FAMILY LIMITED PARTNERSHIP
20 AUBURN ROAD
LONDONDERRY, NH 03053
RCRD - BK 3118, PG 961
RCRD - BK 3085, PG 716
RCRD - BK 3243, PG 1885
RCRD - BK 4206, PG 2445

ABUTTERS LIST

- MAP 13 LOT 143 & MAP 15 LOT 162**
STATE OF NEW HAMPSHIRE
P.O. BOX 483
CONCORD, NH 03301-0483
BK 2777 PG 2546
ZONE: AR-1
- MAP 15 LOT 152**
LONDONDERRY SCHOOL DISTRICT
6A KITTY HAWK LANDING
LONDONDERRY, NH 03053
BK 4917 PG 1785
ZONE: AR-1
- MAP 15 LOT 163**
THOMAS & TRACI BIRON
9 SANBORN ROAD
LONDONDERRY, NH 03053
BK 3232 PG 2912
ZONE: AR-1
- MAP 15 LOT 164**
JAMES F. CONNER
11 SANBORN ROAD
LONDONDERRY, NH 03053
BK 5967 PG 0913
ZONE: AR-1
- MAP 15 LOT 165**
LOUISE L. LACOURSE
13 SANBORN ROAD
LONDONDERRY, NH 03053
BK 5411 PG 1309
ZONE: AG-1

MAP 15 LOT 86-1
LONDONDERRY SCHOOL DISTRICT
6A KITTY HAWK LANDING
LONDONDERRY, NH 03053
BK 1812 PG 0428
ZONE: AR-1

MAP 15 LOT 87-1
PRISTINE PROPERTIES
LONDONDERRY LLC
289 PINE STREET
MANCHESTER, NH 03103
BK 4798 PG 0576
ZONE: R-II

MAP 17 LOT 27
CHARLES H. EVANS
22 GOONAN ROAD
HOOKSETT, NH 03108
BK 5863 PG 1262
ZONE: C-II

MAP 17 LOT 27-2
TWENTYTHREE PAGE ROAD REALTY LLC
23 PAGE ROAD
LONDONDERRY, NH 03053-2113
BK 3851 PG 2666
ZONE: C-II

MAP 17 LOT 27-1
MYRNA C. MACARTHUR REVOC. TRUST
19 KELLEY ROAD
LONDONDERRY, NH 03053
BK 5912 PG 0998
ZONE: C-II

MAP 17 LOT 28
MYRNA C. MACARTHUR
REVOC. TRUST
19 KELLEY ROAD
LONDONDERRY, NH 03053
BK 5912 PG 1000
ZONE: AR-1

LEGEND

- EXISTING GROUND CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED GRADE
- PROPOSED SPOT GRADE
- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLES
- STORM DRAIN & HEADWALL
- STORM DRAIN & END SECTION
- SANITARY SEWER & MANHOLES
- WATER MAIN & HYDRANT
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT
- OVERHEAD ELECTRIC & TELEPHONE
- UNDERGROUND ELECT/T & MANHOLES
- SIGN
- BUILDING SETBACK LINE
- WETLAND FLAGGING LIMIT
- WETLAND BUFFER LINE
- WIRE FENCE
- CHAINLINK FENCE
- GUARDRAIL
- PAVEMENT SAWCUT
- CONCRETE
- PROPOSED PAVEMENT
- RIPRAP / STONE
- TREE LINE

ZONING NOTE

THE ZONING BUILDING SETBACKS DEPICTED ON THIS PLAN ARE THOSE WE HAVE INTERPRETED FROM THE LATEST ZONING ORDINANCE OF THE MUNICIPALITY AND, AS SUCH, ARE ONLY OPINIONS EXPRESSED BY HAYNER/SWANSON, INC. THE FINAL INTERPRETATION OF THE ORDINANCE CAN ONLY BE MADE BY THE APPROPRIATE ZONING AUTHORITY. SINCE BUILDING ORIENTATION, PROPOSED USES, AND OTHER FACTORS CAN AFFECT THE SETBACKS, PRIOR TO ANY DEVELOPMENT OF THIS PROPERTY, THE BUILDER/OWNER MUST CONSULT WITH THE TOWN/CITY TO INSURE THE CORRECT APPLICATION OF THE ZONING ORDINANCE.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

BENCHMARK

TOP OF DRILL HOLE
NORTHEAST OF NORTHEAST
CORNER OF TOWER
LEASED AREA ON
LOT 103, MAP 15
ELEV. = 365.36
(1929 NGVD DATUM)



SURVEY NOTES:

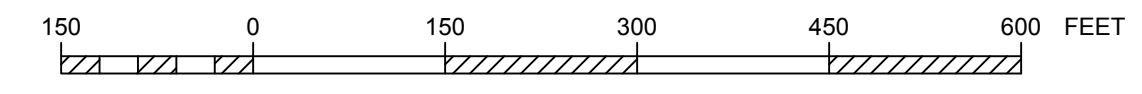
- THE EXISTING TOPOGRAPHY, AS SHOWN ON THE PLANS, IS BASED IN PART ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BETWEEN APRIL 1998 AND MARCH 2023 AND AERIAL PHOTOGRAPHY DATED APRIL 8, 1998.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- SURVEY CONTROL DATA:
HORIZONTAL DATUM: NAD83 HORIZONTAL PROJECTION: NH STATE PLANE
VERTICAL DATUM: NGVD29 UNITS: US SURVEY FEET
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.

PRELIMINARY
DESIGN REVIEW

No.	DATE	REVISION	BY

MASTER SITE PLAN
(MAP 17, LOT 45)
**PROPOSED SEWER MAIN EXTENSION
and PAGE ROAD IMPROVEMENTS**
14 PAGE RD. & 280 ROCKINGHAM RD.
LONDONDERRY, NEW HAMPSHIRE

PREPARED FOR/RECORD OWNER:
EVANS FAMILY LIMITED PARTNERSHIP
20 AUBURN ROAD LONDONDERRY, NEW HAMPSHIRE 03053 (603) 434-7911

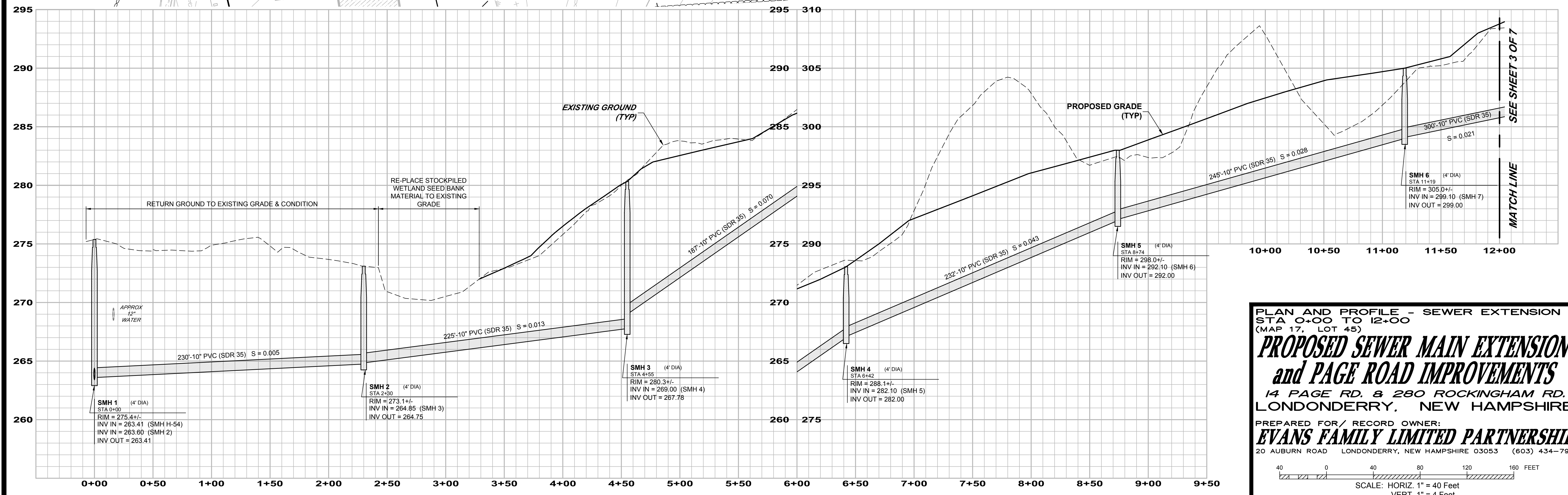
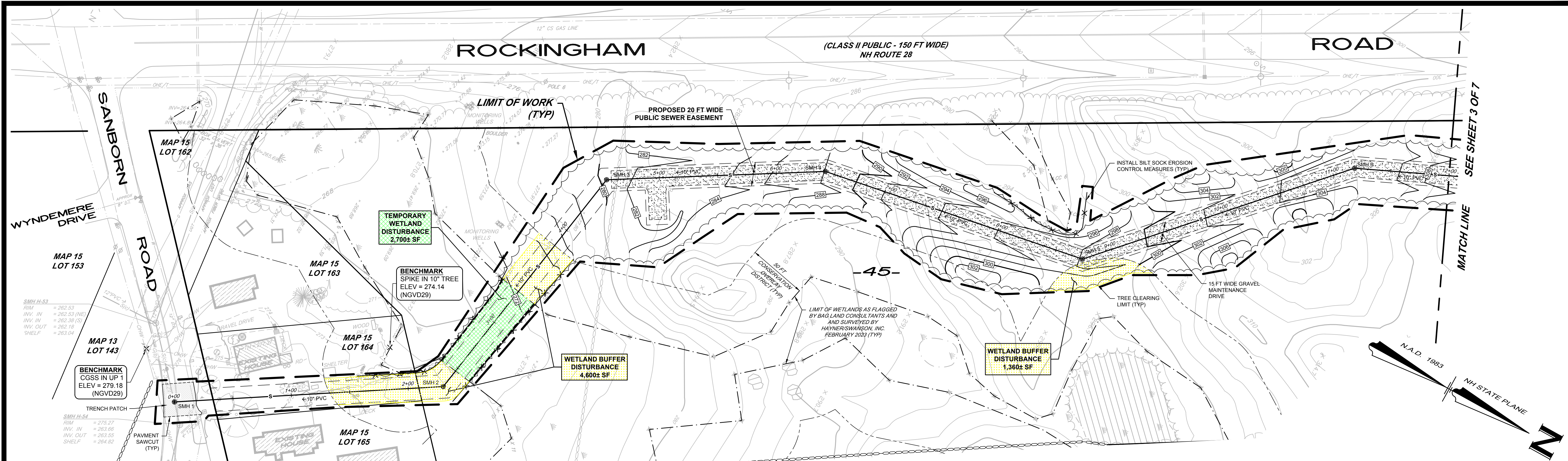


SCALE: 1"=150 Feet

10 APRIL 2023

HSI Hayner/Swanson, Inc.
3 Congress Street, Nashua, NH 03062 (603) 883-2057
131 Middlesex Turnpike, Burlington, MA 01803 (781) 203-1501
www.hayner-swanson.com

FIELD BOOK: 1072.1056.1058 | DRAWING NAME: 4307US-F081 | 4307-US | 1 OF 7
DRAWING LOCATION: J:\4000\4307\DWG\4307-US | File Number | Sheet



**PLAN AND PROFILE - SEWER EXTENSION
STA 0+00 TO 12+00
(MAP 17, LOT 45)**

**PROPOSED SEWER MAIN EXTENSION
and PAGE ROAD IMPROVEMENTS**

14 PAGE RD. & 280 ROCKINGHAM RD.
LONDONDERRY, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:
EVANS FAMILY LIMITED PARTNERSHIP
20 AUBURN ROAD LONDONDERRY, NEW HAMPSHIRE 03053 (603) 434-7911

SCALE: HORIZ. 1" = 40 Feet
VERT. 1" = 4 Feet

LEGEND

- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLES
- SANITARY SEWER & MANHOLES
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT

BENCHMARK
TOP OF DRILL HOLE
NORTHEAST OF NORTHEAST
CORNER OF TOWER
LEASED AREA ON
LOT 103, MAP 15
ELEV. = 365.36
(1929 NGVD DATUM)

**PRELIMINARY
DESIGN REVIEW**

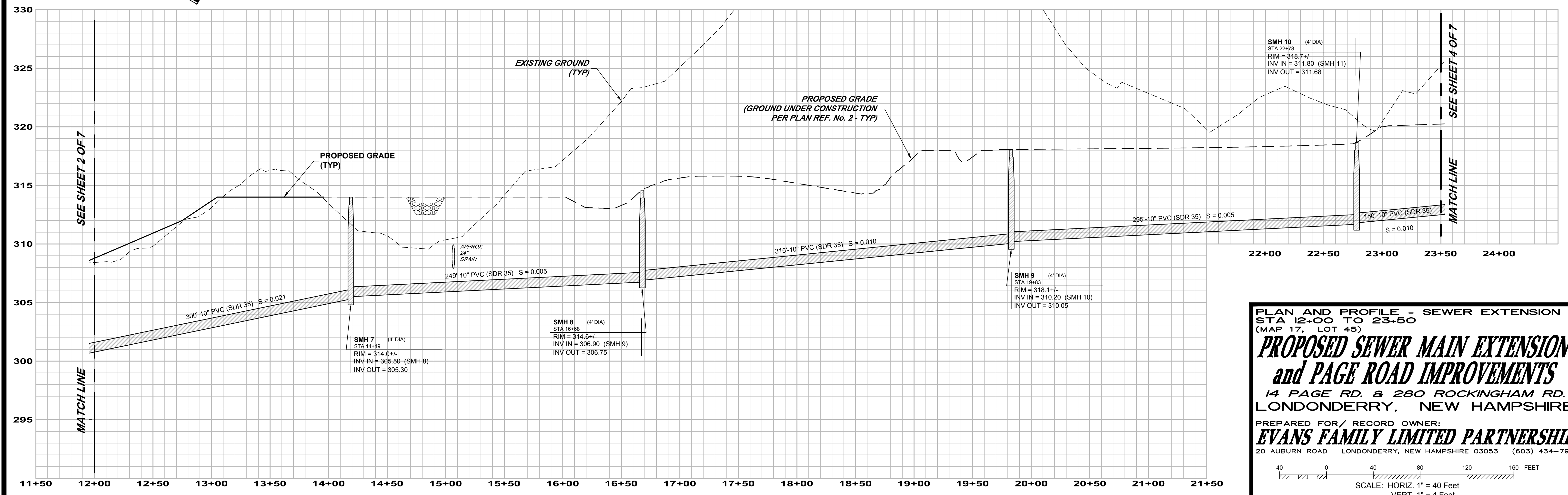
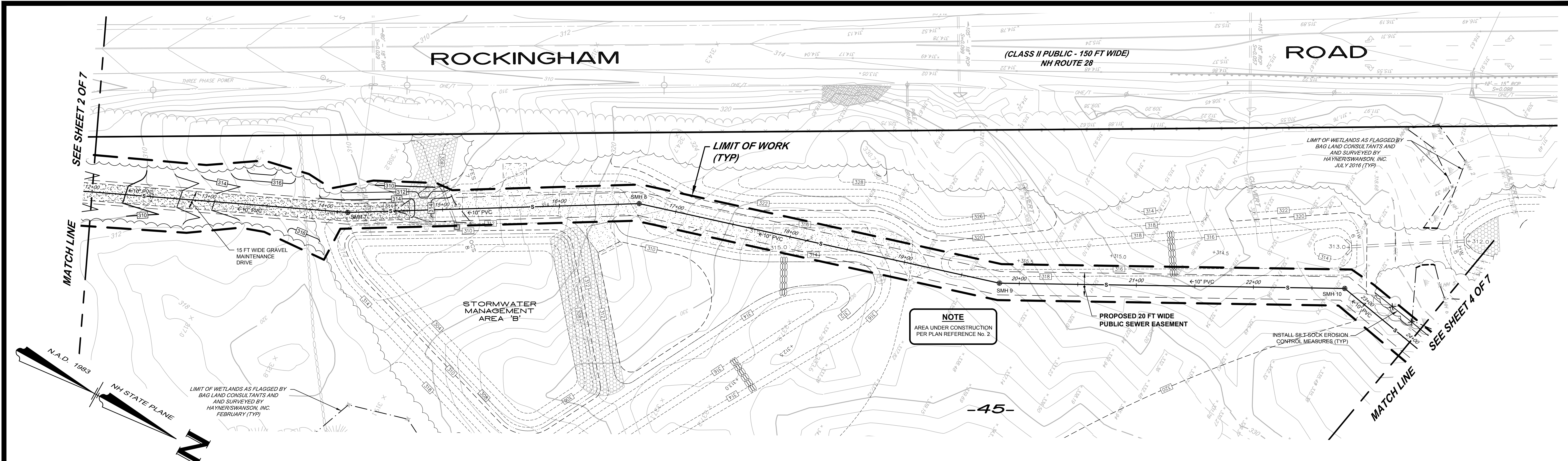
No.	DATE	REVISION	BY

10 APRIL 2023

Hayner Swanson, Inc.
3 Congress Street, Nashua, NH 03062 (603) 883-2057
131 Middlesex Turnpike, Burlington, MA 01803 (781) 203-1501
www.hayner-swanson.com

FIELD BOOK: 1072.1056.1058 | DRAWING NAME: 4307US-PP41
DRAWING LOCATION: J:\4000\4307.DWG\4307-US

4307-US 2 OF 7



PLAN AND PROFILE - SEWER EXTENSION
STA 12+00 TO 23+50
(MAP 17, LOT 45)

PROPOSED SEWER MAIN EXTENSION
and PAGE ROAD IMPROVEMENTS

14 PAGE RD. & 280 ROCKINGHAM RD.
LONDONDERRY, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:
EVANS FAMILY LIMITED PARTNERSHIP
20 AUBURN ROAD LONDONDERRY, NEW HAMPSHIRE 03053 (603) 434-7911

SCALE: HORIZ. 1" = 40 Feet
VERT. 1" = 4 Feet

LEGEND

- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLES
- SANITARY SEWER & MANHOLES
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT

BENCHMARK
TOP OF DRILL HOLE
NORTHEAST OF NORTHEAST
CORNER OF TOWER
LEASED AREA ON
LOT 103, MAP 15
ELEV. = 365.36
(1929 NGVD DATUM)

PRELIMINARY
DESIGN REVIEW

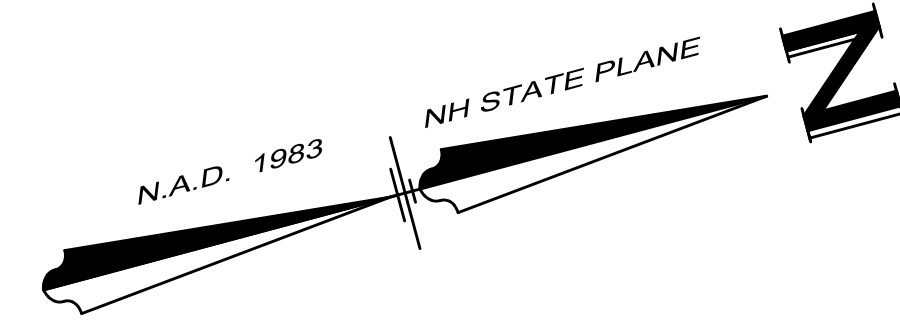
No.	DATE	REVISION	BY

10 APRIL 2023

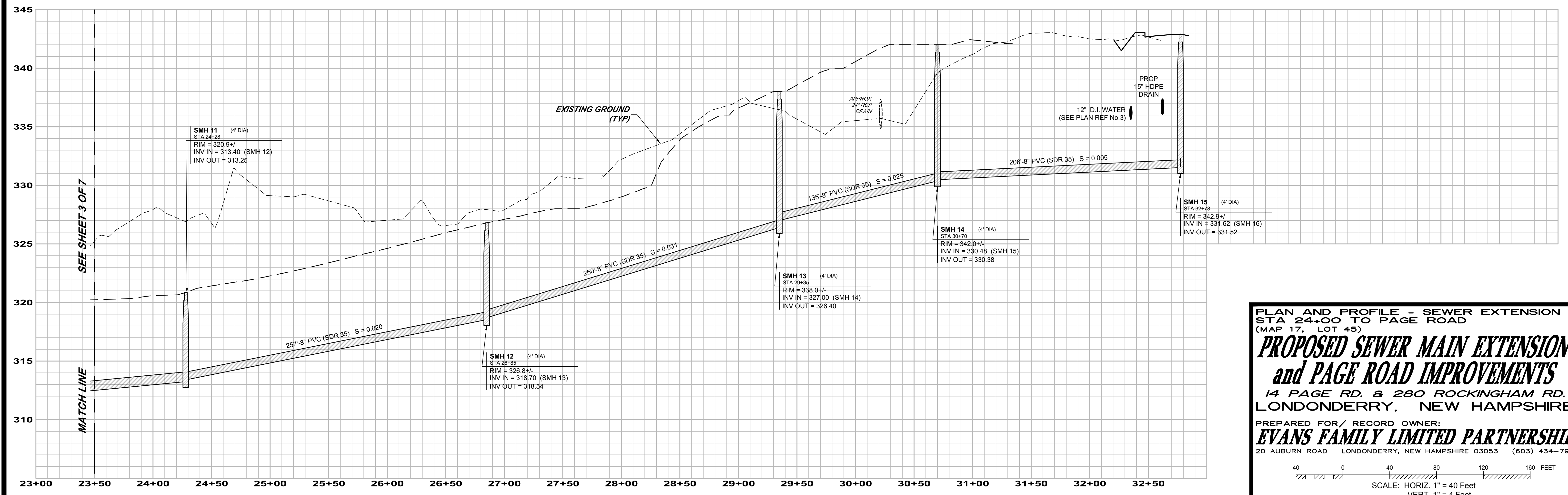
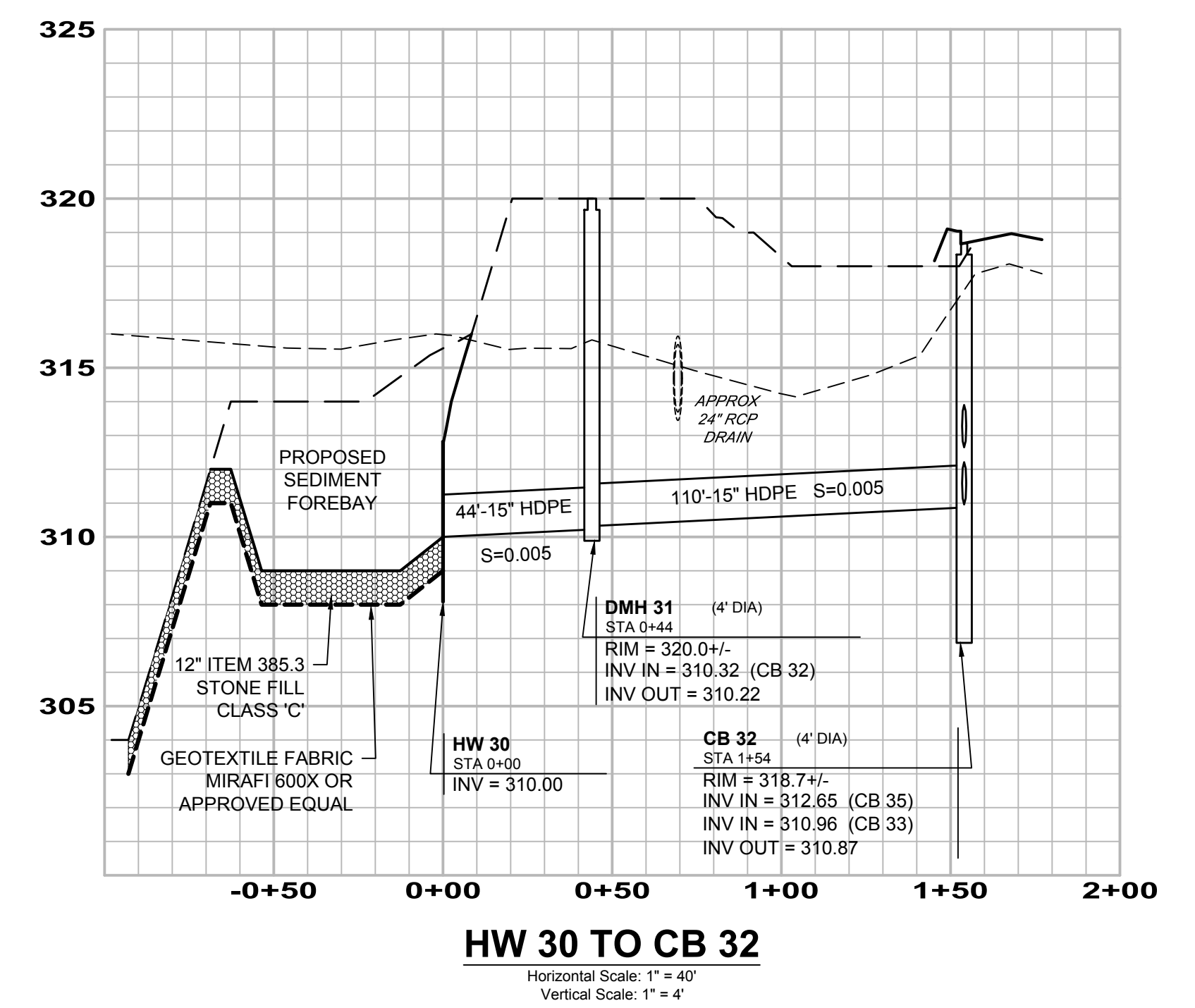
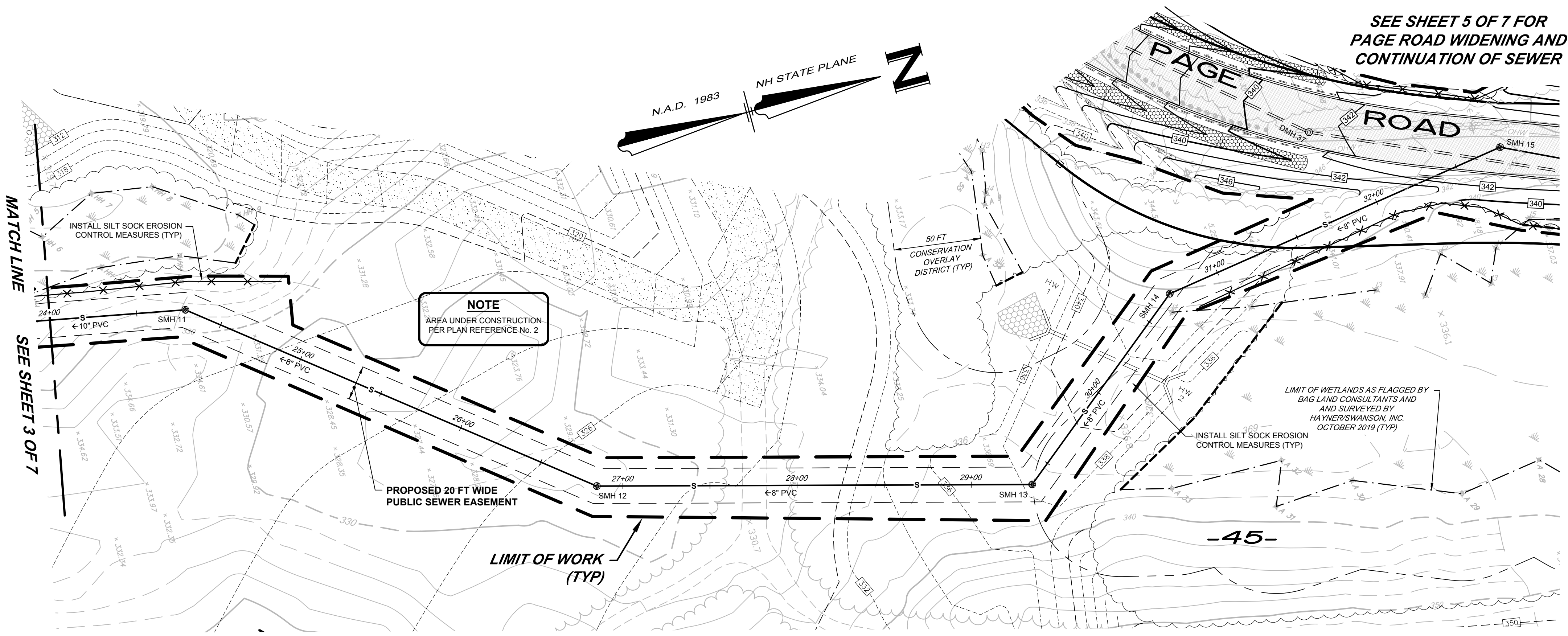
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FIELD BOOK: 1072.1056.1058 | DRAWING NAME: 4307US-PP41
DRAWING LOCATION: J:\4000\4307.DWG\4307-US

4307-US 3 OF 7



SEE SHEET 5 OF 7 FOR
PAGE ROAD WIDENING AND
CONTINUATION OF SEWER

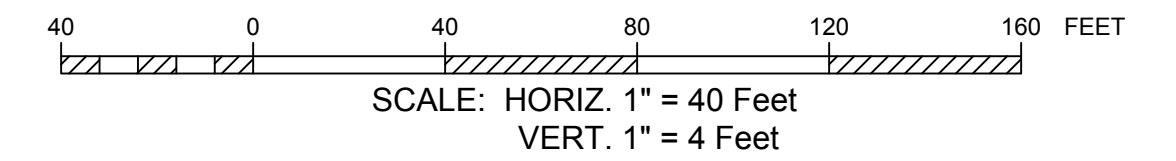


PLAN AND PROFILE - SEWER EXTENSION
STA 24+00 TO PAGE ROAD
(MAP 17, LOT 45)

**PROPOSED SEWER MAIN EXTENSION
and PAGE ROAD IMPROVEMENTS**

14 PAGE RD. & 280 ROCKINGHAM RD.
LONDONDERRY, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:
EVANS FAMILY LIMITED PARTNERSHIP
20 AUBURN ROAD LONDONDERRY, NEW HAMPSHIRE 03053 (603) 434-7911



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LEGEND

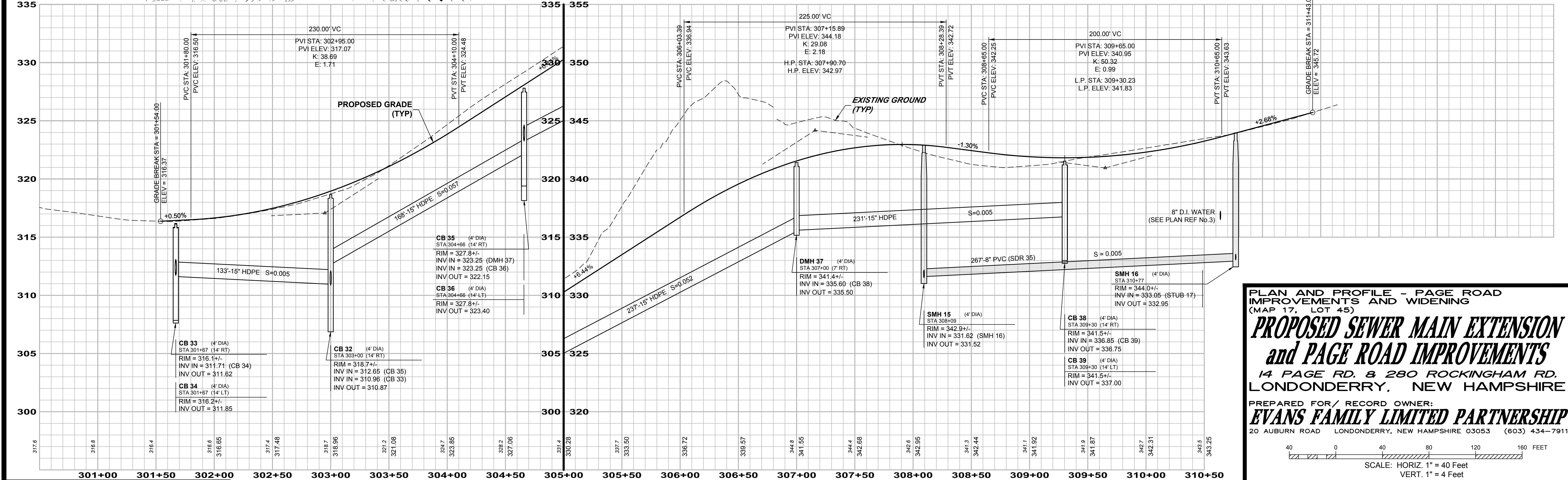
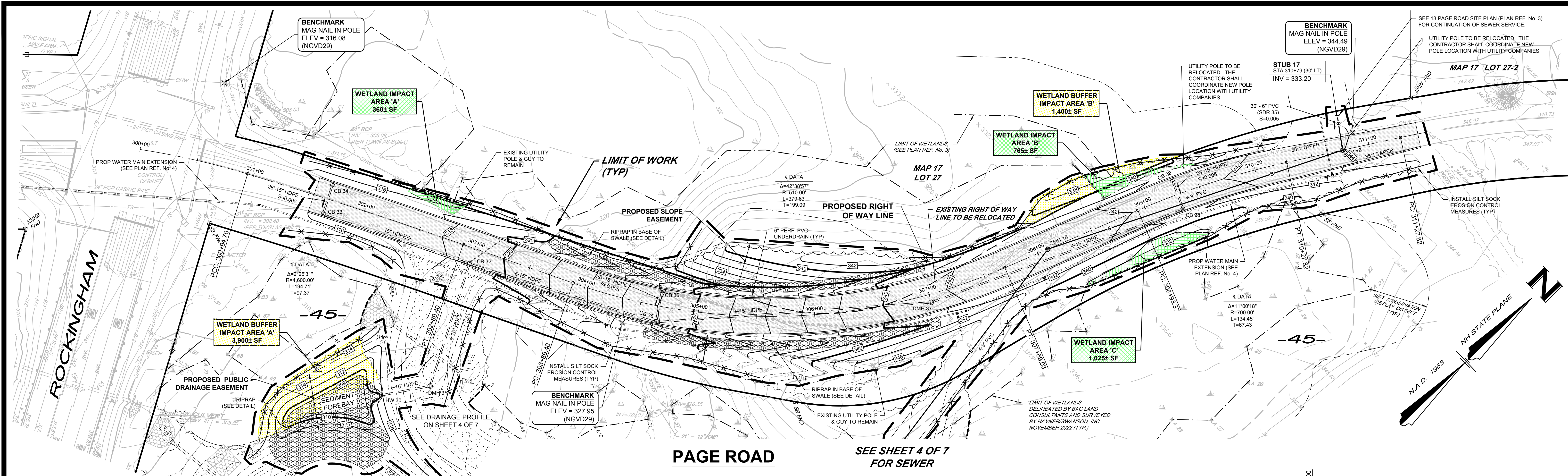
- Storm Drain & Catch Basin
- Storm Drain & Manholes
- Sanitary Sewer & Manholes
- Water Main & Gate Valve
- Gas Line & Gate Valve
- Utility Pole with Guy Support
- Street Light

BENCHMARK
TOP OF DRILL HOLE
NORTHEAST OF NORTHEAST
CORNER OF TOWER
LEASED AREA ON
LOT 103, MAP 15
ELEV. = 365.36
(1929 NGVD DATUM)

**PRELIMINARY
DESIGN REVIEW**

No.	DATE	REVISION	BY

FIELD BOOK: 1072.1056.1058	DRAWING NAME: 4307US-PP41	4307-US	4 OF 7
DRAWING LOCATION: J:\4000\4307.DWG\4307-US			



LEGEND

- STORM DRAIN & CATCH BASIN
- STORM DRAIN & MANHOLES
- SANITARY SEWER & MANHOLES
- WATER MAIN & GATE VALVE
- GAS LINE & GATE VALVE
- UTILITY POLE WITH GUY SUPPORT
- STREET LIGHT

BENCHMARK

TOP OF DRILL HOLE
NORTHEAST CORNER OF TOWER
LEASED AREA ON
LOT 103, MAP 15
ELEV. = 365.36
(1929 NGVD DATUM)

No.	DATE	REVISION	BY

**PRELIMINARY
DESIGN REVIEW**

PLAN AND PROFILE - PAGE ROAD IMPROVEMENTS AND WIDENING (MAP 17, LOT 45)

PROPOSED SEWER MAIN EXTENSION
and PAGE ROAD IMPROVEMENTS

14 PAGE RD. & 280 ROCKINGHAM RD.
LONDONDERRY, NEW HAMPSHIRE

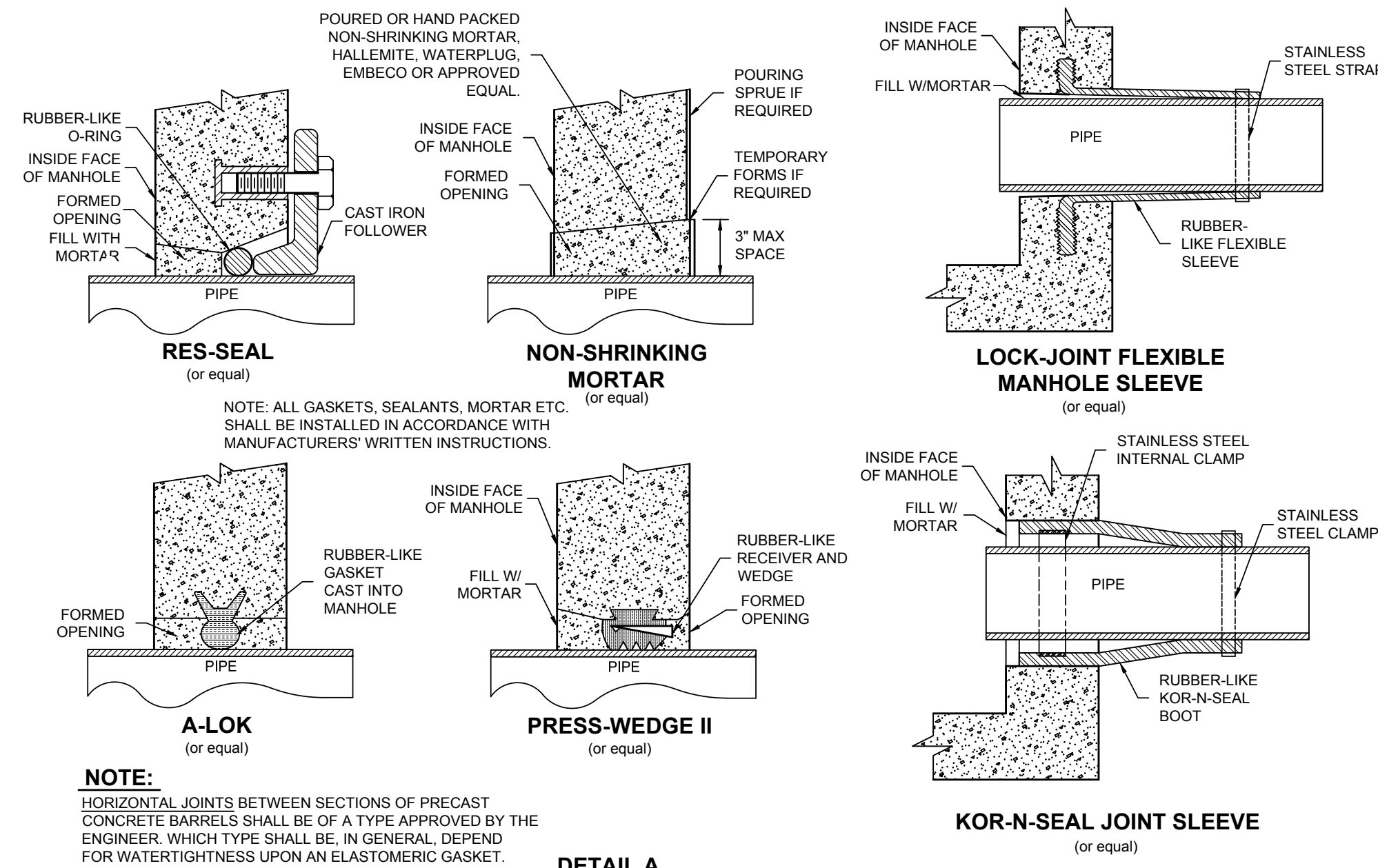
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SCALE: HORIZ. 1" = 40 Feet
VERT. 1" = 4 Feet

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FIELD BOOK: 10721056,1058 | DRAWING NAME: 4307US-PP41 | 4307-US | 5 OF 7
DRAWING LOCATION: J:\4000\4307.DWG\4307-US



NOTE:

PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND, IN GENERAL, WILL DEPEND FOR AIRTIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.

NOTE: ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS. STATE OF NEW HAMPSHIRE APPROVED PRODUCTS: (A) SIKAFLEX-12-SL (B) SONNEBORN BUILDING PRODUCTS SONOLASTIC SL-1

ELASTOMERIC SEALANT
DETAIL B

PVC PIPE TESTING

- LOW PRESSURE AIR TEST (IN LIEU OF INFILTRATION OR EXFILTRATION TEST) SHALL BE USED TO TEST GRAVITY SEWERS IN ACCORDANCE WITH ENV-WQ 704.07. THE CONTRACTOR SHALL PERFORM LEAKAGE TESTING BY MEANS OF LOW PRESSURE AIR, IN ACCORDANCE WITH ASTM F1417-92 (2005) STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINE USING LOW PRESSURE AIR OR UNIBELL PVC PIPE ASSOCIATION UNI-6 LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPES. IN GENERAL, THE USE OF SEALANTS, APPLIED FROM THE INSIDE OF THE PIPE, WILL NOT BE APPROVED.
- DEFLECTION TESTS (P.V.C. SEWER PIPE ONLY): A MAXIMUM OF 5% OF INSIDE PIPE DIAMETER DEFLECTION IN THE PIPE DIAMETER WILL BE ALLOWED. DEFLECTION SHALL BE MEASURED AS THE REDUCTION IN THE VERTICAL DIAMETER OF THE PIPE. TESTING SHALL BE DONE ON ALL PVC PIPE, USING EITHER A RIGID 100-MC-00 DEVICE AS RECOMMENDED BY JOHNS-MANVILLE OR BY AN APPROVED DEFLECTOMETER. TESTING PERSONNEL, APPARATUS AND EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR. TESTING SHALL NOT BE DONE UNTIL AT LEAST 30 DAYS FOLLOWING INSTALLATION IN ACCORDANCE WITH ENV-WQ 704.07(5).

STANDARD MANHOLE - PART B

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF LONDONDERRY, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- SITE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE TOWN OF LONDONDERRY REQUIREMENTS AND SPECIFICATIONS FOR SITE INFRASTRUCTURE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER AND UTILITY REPRESENTATIVES PRIOR TO ANY CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN A MINIMUM TWO WEEKS PRIOR TO ANY PROPOSED CONSTRUCTION FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS FOR WORK IN THE ROADWAY. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE PUBLIC WORKS HAS BEEN OBTAINED.

SANITARY SEWER NOTES:

- ALL SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND WITH THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL SERVICES, CODE OF ADMINISTRATIVE RULES, CHAPTER ENV-WQ 700, AND THE TOWN OF LONDONDERRY, NEW HAMPSHIRE SEWER USE ORDINANCES.
- SEWER PIPE SHALL BE SOLID WALL-PVC UNLESS OTHERWISE REQUIRED BY THESE SPECIFICATIONS. SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM WATER LINES.
- WHENEVER SEWERS MUST CROSS WATER MAINS, SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
 - (A) SEWER PIPE SHALL BE CLASS 52 DUCTILE IRON FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF THE CROSSING.
 - (B) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS AND 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS. JOINTS SHALL NOT BE LOCATED WITHIN 9 FEET OF THE CROSSING.
 - (C) VERTICAL SEPARATION OF THE SEWER AND WATER MAIN SHALL NOT BE LESS THAN 18 INCHES.
- THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED TOWN OF LONDONDERRY PUBLIC WORKS AND ENGINEERING DEPARTMENT PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE BETWEEN 9:00 AM AND 4:30 PM, MONDAY - FRIDAY, WITH AT LEAST 2 DAYS OF ADVANCE NOTICE.
- THE SEWER SERVICE CONNECTION MANHOLE SHALL BE VACUUM TESTED AND THE PVC PIPING PRESSURE TESTED BY A THIRD PARTY WITH AUTHORIZED TOWN OF LONDONDERRY PUBLIC WORKS AND ENGINEERING DEPARTMENT PERSONNEL AS WITNESS.
- NO FOUNDATION DRAINS OR ROOF DRAINS OR OTHER "NON-SANITARY DRAINS" SHALL BE CONNECTED TO THE MUNICIPAL SEWER.
- A MANDATORY PRECONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN, CONTRACTOR, OWNER AND ALL UTILITY REPRESENTATIVES PRIOR TO ANY CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS HAS BEEN OBTAINED.
- A TOWN OF LONDONDERRY SEWER DISCHARGE PERMIT IS REQUIRED. APPLICABLE FEES FOR THE TOWN OF LONDONDERRY DISCHARGE PERMIT ARE THE RESPONSIBILITY OF THE APPLICANT AS PER THE TOWN OF LONDONDERRY "CHAPTER IX - SEWER USE CHARGE ORDINANCE". THE APPLICANT WILL BE REQUIRED TO PAY ALL SEWER ACCESS FEES AND CONNECTION FEES PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE PROPOSED FACILITY. AS A CONDITION OF DEPARTMENT APPROVAL, THE DEPARTMENT OF PUBLIC WORKS REQUIRES THAT THE APPLICANT AGREE AND ACKNOWLEDGE, IN WRITING, TO PAY THE REQUIRED SEWER ACCESS FEE AND CONNECTION FEE.

TOWN OF LONDONDERRY CONTACTS

ENGINEERING DEPARTMENT
TOWN OF LONDONDERRY
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
2688 MAMMOTH ROAD
LONDONDERRY, NH 03053
ATT: JOHN TROTTER, P.E.
(603) 432-1100 EXT. 146

UTILITY COMPANY CONTACTS

WATER
MANCHESTER WATER WORKS
281 LINCOLN STREET
MANCHESTER, NH 03103
ATT: GUY CHABOT, PE
(603) 624-6464 EXT. 303

SEWER
TOWN OF LONDONDERRY
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING
2688 MAMMOTH ROAD
LONDONDERRY, NH 03053
ATT: ROBERT KERRY
(603) 432-1100 EXT. 137

GAS
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03103
ATTN: ANDREW MORGAN
(603) 327-5357

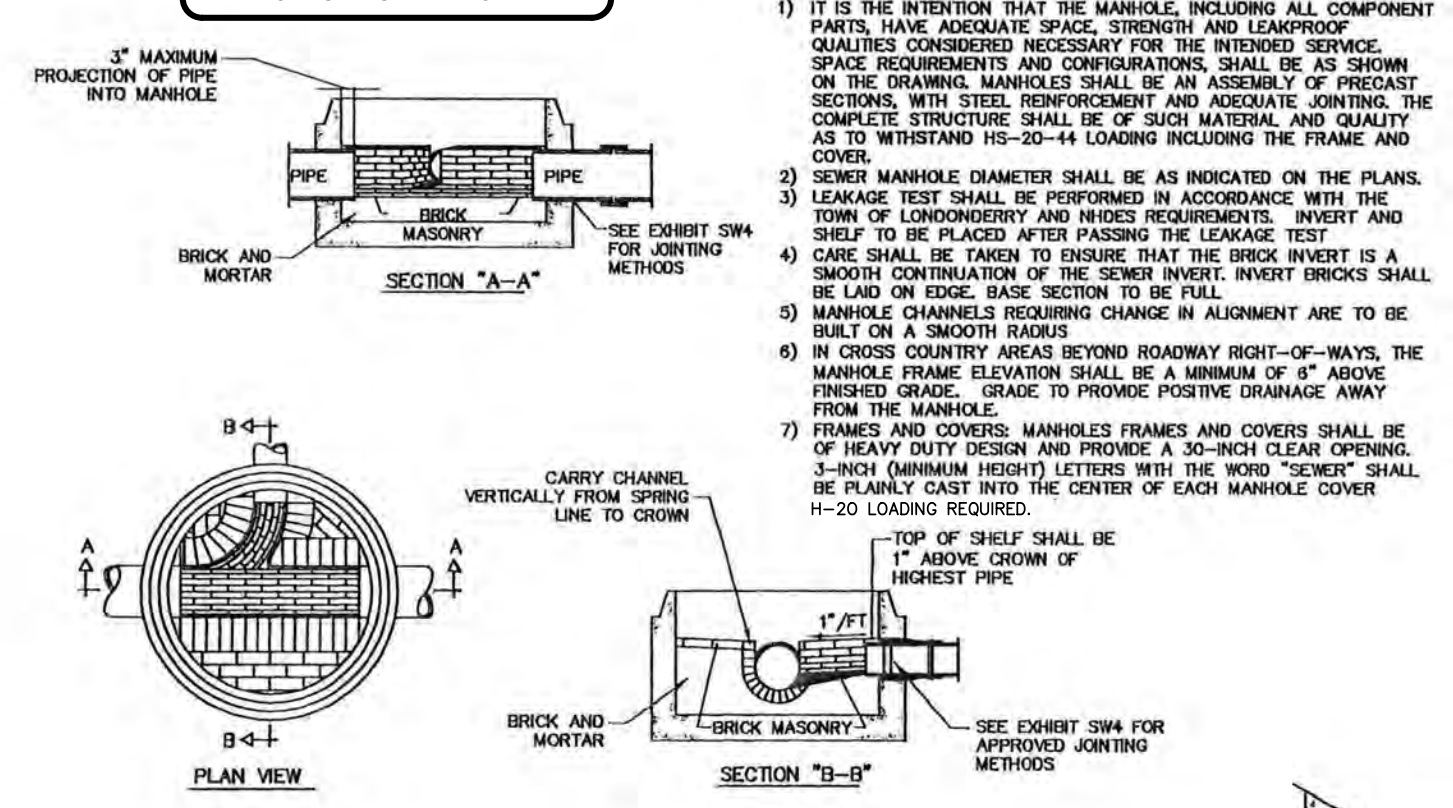
ELECTRIC
EVERSOURCE
13 LEGENDS DRIVE
HOOKSETT, NH 03106
ATTN: BILL COLTURE
(603) 634-2041

TELEPHONE
CONSOLIDATED COMMUNICATIONS
100 GAY STREET
MANCHESTER, NH 03103
ATT: ROBERTO DIAZ
(603) 645-2721

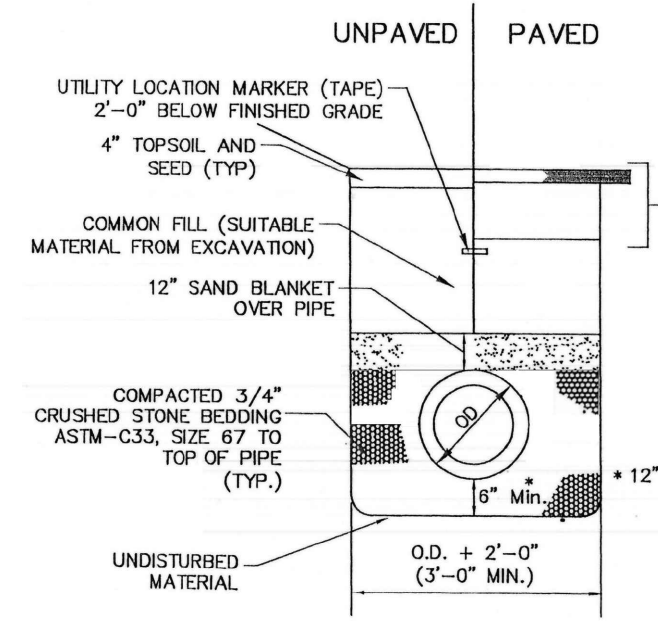
NOTE:
HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL BE, IN GENERAL, DEPEND FOR WATERTIGHTNESS UPON AN ELASTOMERIC GASKET.

DETAIL A

NOTE
MANHOLE STEPS ARE PROHIBITED



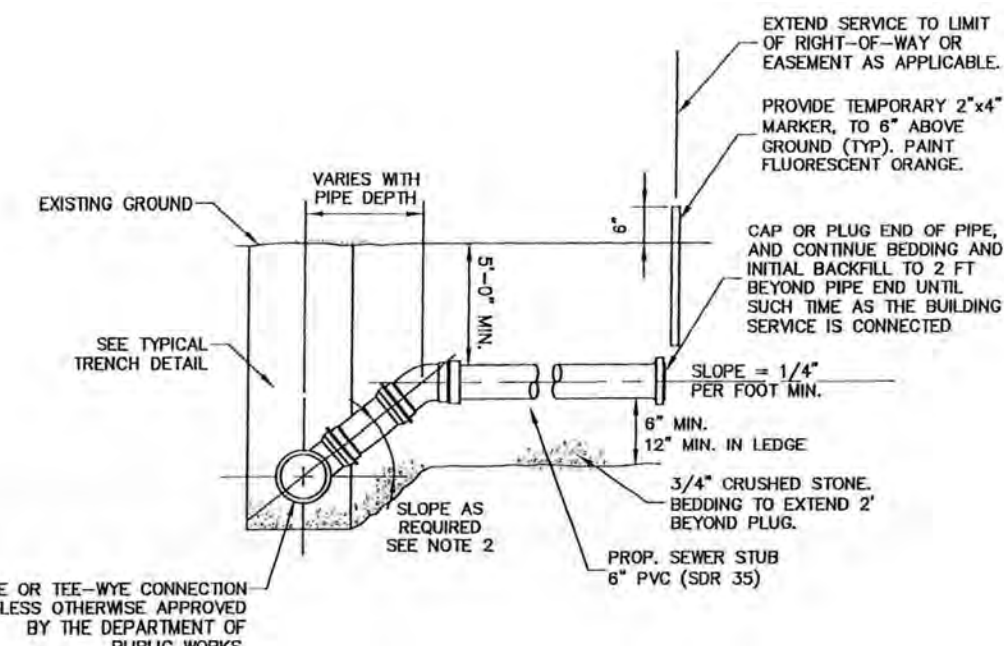
- NOTES:**
- IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. REQUIREMENTS AND CONSIDERATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT AND ADEQUATE JOINTING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND 15-20-H HORIZONTAL LOADING INCLUDING THE FRAME AND COVER.
 - SEWER MANHOLE DIAMETER SHALL BE AS INDICATED ON THE PLANS. LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF LONDONDERRY AND NHDES REQUIREMENTS. INVERT AND SHELVE TO BE PLACED AFTER PASSING THE LEAKAGE TEST.
 - COVER SHALL BE TAKEN TO ENSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE. BASE SECTION TO BE FULL.
 - MANHOLE CHANNELS REQUIRING CHANGE IN ALIGNMENT ARE TO BE BUILT ON A SMOOTH RADUS.
 - IN CROSS COUNTRY AREAS BEYOND ROADWAY RIGHT-OF-WAYS, THE MANHOLE FRAME ELEVATION SHALL BE A MINIMUM OF 8" ABOVE FINISHED GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE MANHOLE.
 - FRAMES AND COVERS, MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. 3-INCH (MINIMUM HEIGHT) LETTERS WITH THE WORD "NODOT" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH MANHOLE COVER. H-20 LOADING REQUIRED.
 - TOP OF COVER SHALL BE 1" ABOVE CROWN OF HIGHEST PIPE.



TRENCH NOTES:

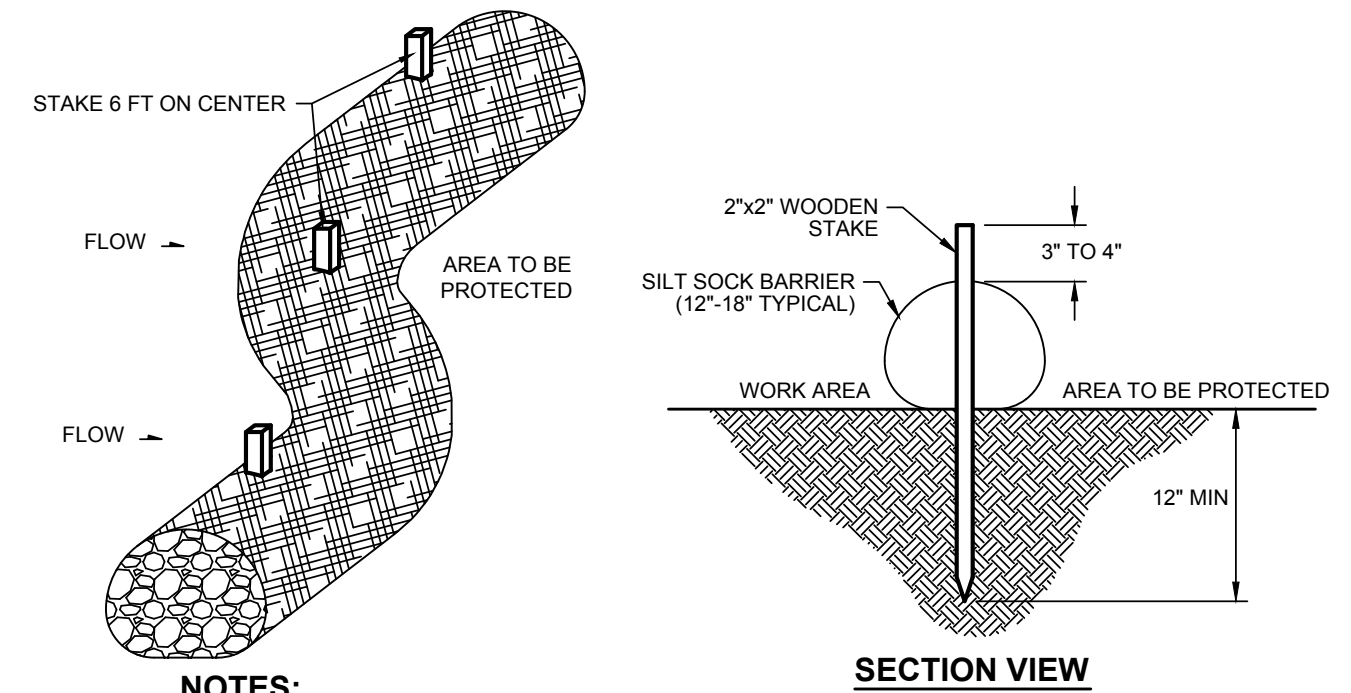
- BLANKET MATERIAL SHALL CONFORM TO THE PROVISIONS OF NHDES-ENV-WQ 704.11(b).
- TRENCH BACKFILL MATERIAL SHALL CONFORM WITH NHDES-ENV-WQ 704.11(h).
- BACKFILL IN CROSS COUNTRY LOCATIONS SHALL BE MOUNDING 6" ABOVE ORIGINAL GRADE.

TYPICAL SEWER PIPE TRENCH



DETAIL FOR SEWER SERVICE CONNECTION

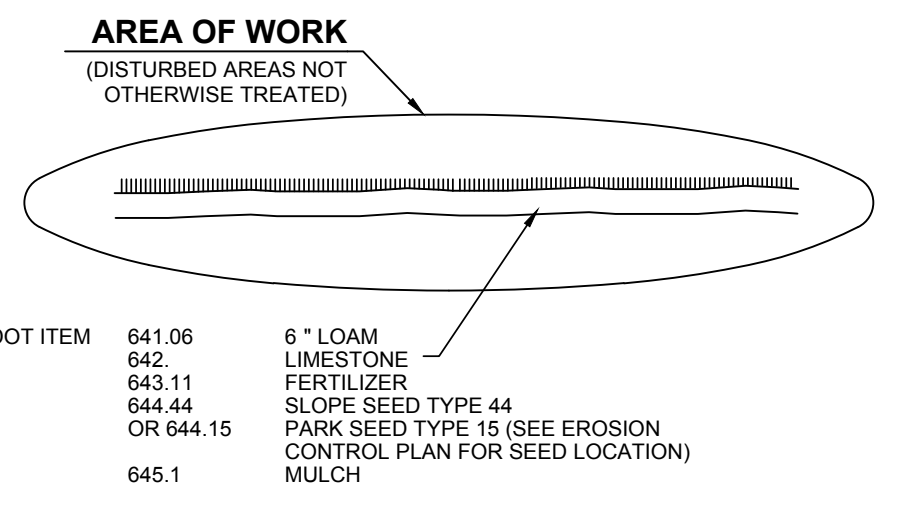
- NOTES:**
- ALL SERVICE CONNECTIONS TO BE 6" MINIMUM UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
 - USE CHIMNEY DETAIL WHERE SERVICE CONNECTION ENTERS SEWER AT GREATER THAN 90° TO THE HORIZONTAL.



NOTES:

- SILT SOCK BARRIER SHALL BE FILTREXX SILTSOCKX NATURAL PLUS (OR APPROVED EQUAL) AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- SILT SOCK BARRIER SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE SILT SOCK SHOULD DECOMPOSE OR BECOME INEFFECTIVE, THE BARRIER SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
- COMPOST TO BE REMOVED OR DISPOSED ON-SITE AS DETERMINED BY THE ENGINEER.

SILT SOCK DETAIL



APPLICATION RATES
SEED: 60 LB/ACRE
FERTILIZER: 20 LB/1000 S.F. (10-10-10)
LIMESTONE: (PER NHDOT)
MULCH: 3 TONS/ACRE

LOAM AND SEED DETAIL

DETAIL SHEET - GENERAL
(MAP 17, LOT 45)
PROPOSED SEWER MAIN EXTENSION
and PAGE ROAD IMPROVEMENTS
14 PAGE RD. & 280 ROCKINGHAM RD.
LONDONDERRY, NEW HAMPSHIRE

PREPARED FOR/ RECORD OWNER:
EVANS FAMILY LIMITED PARTNERSHIP
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SCALE AS SHOWN

10 APRIL 2023

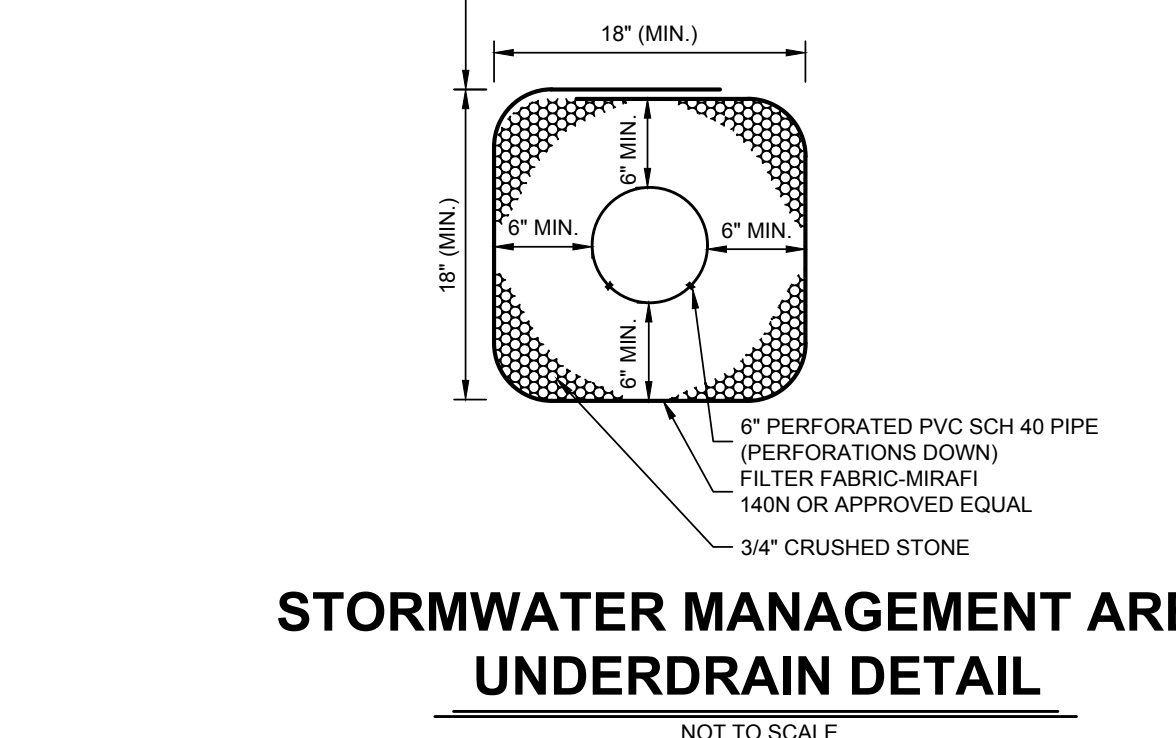
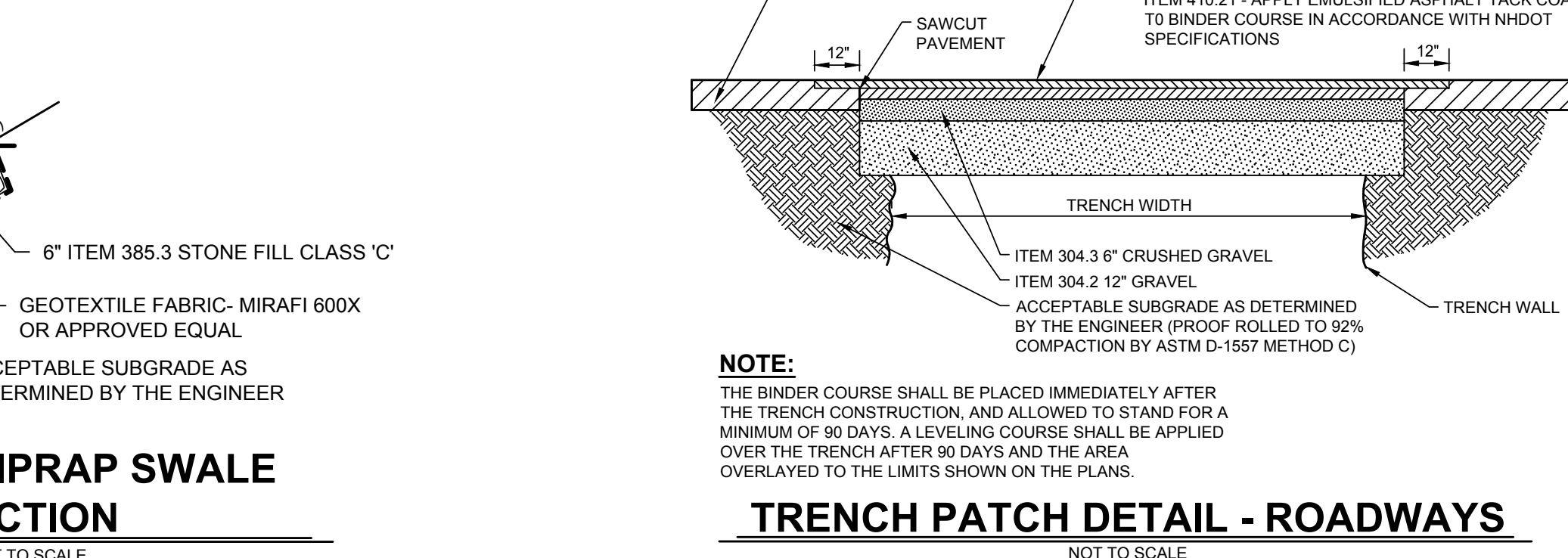
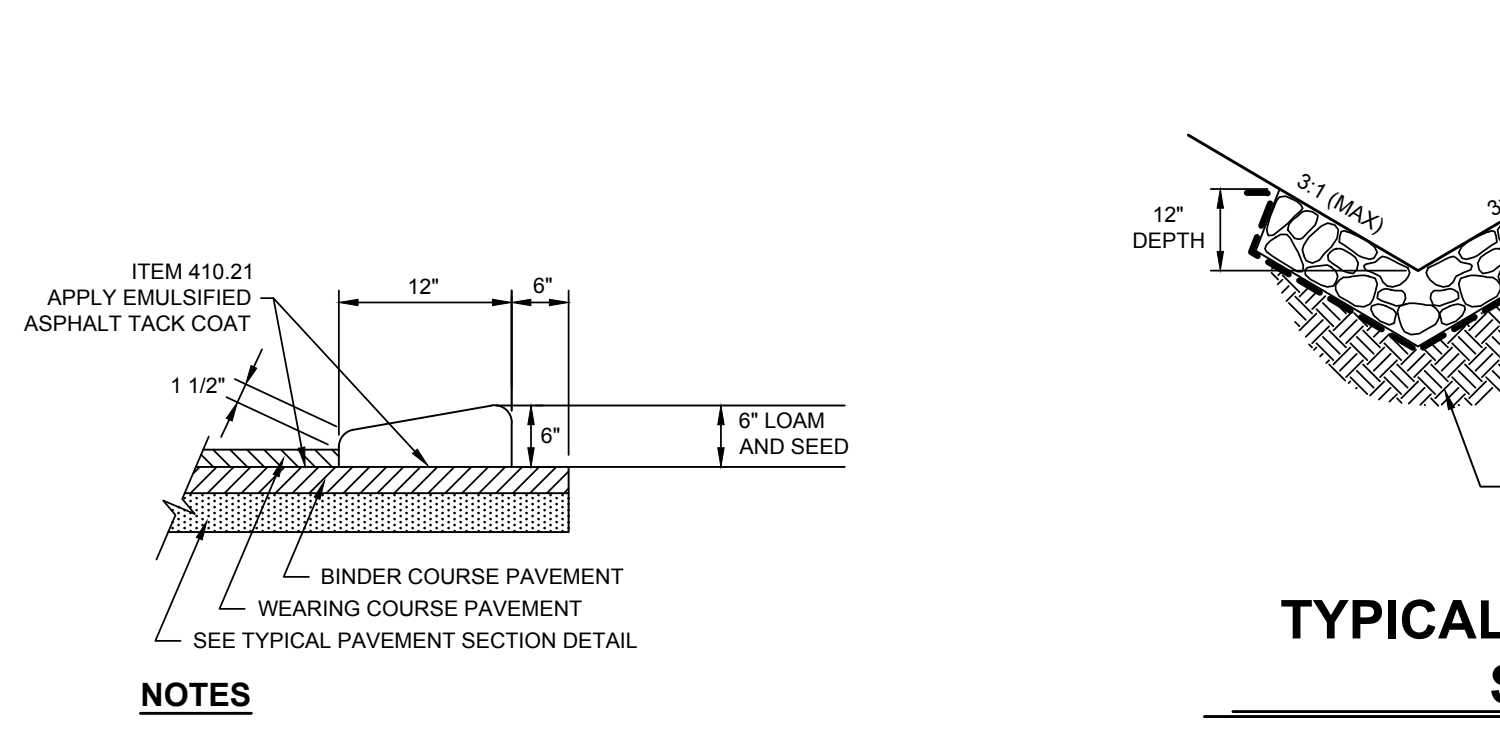
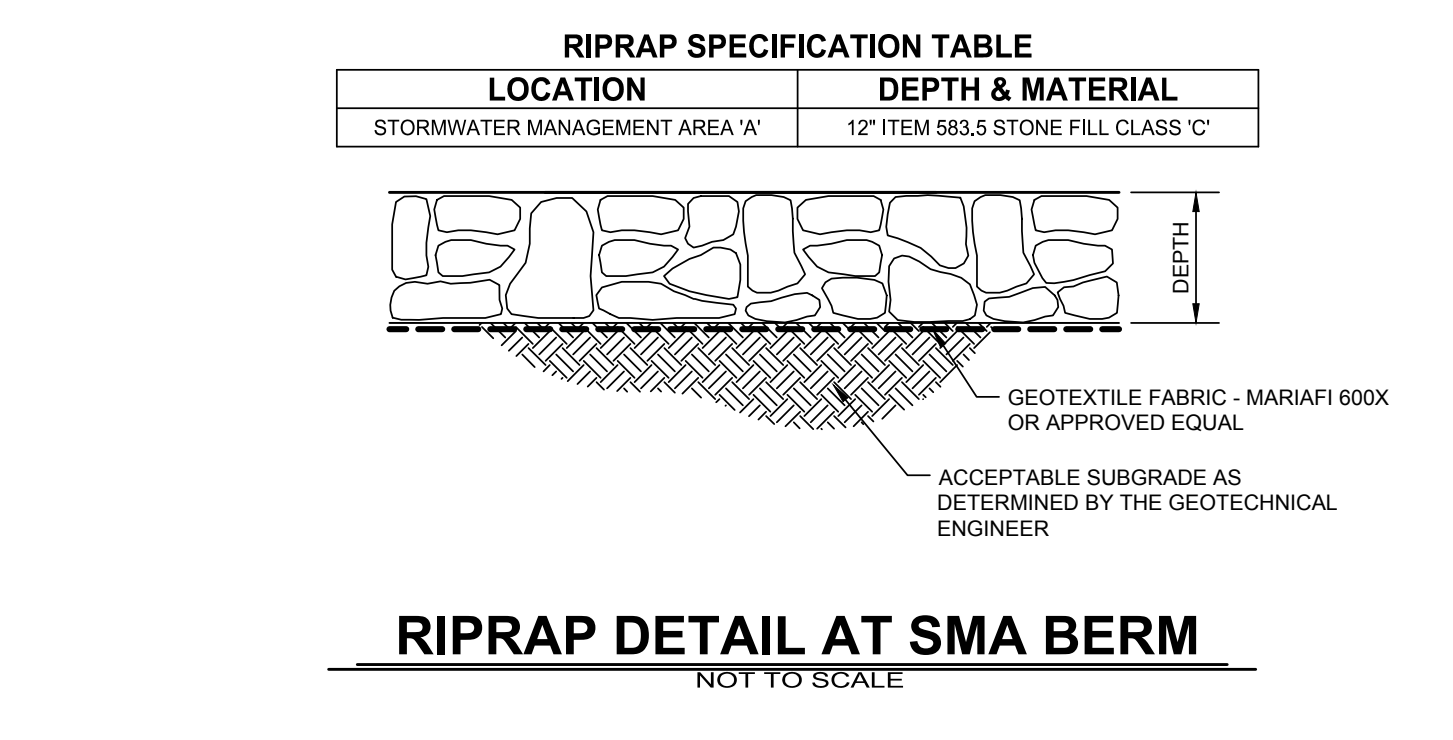
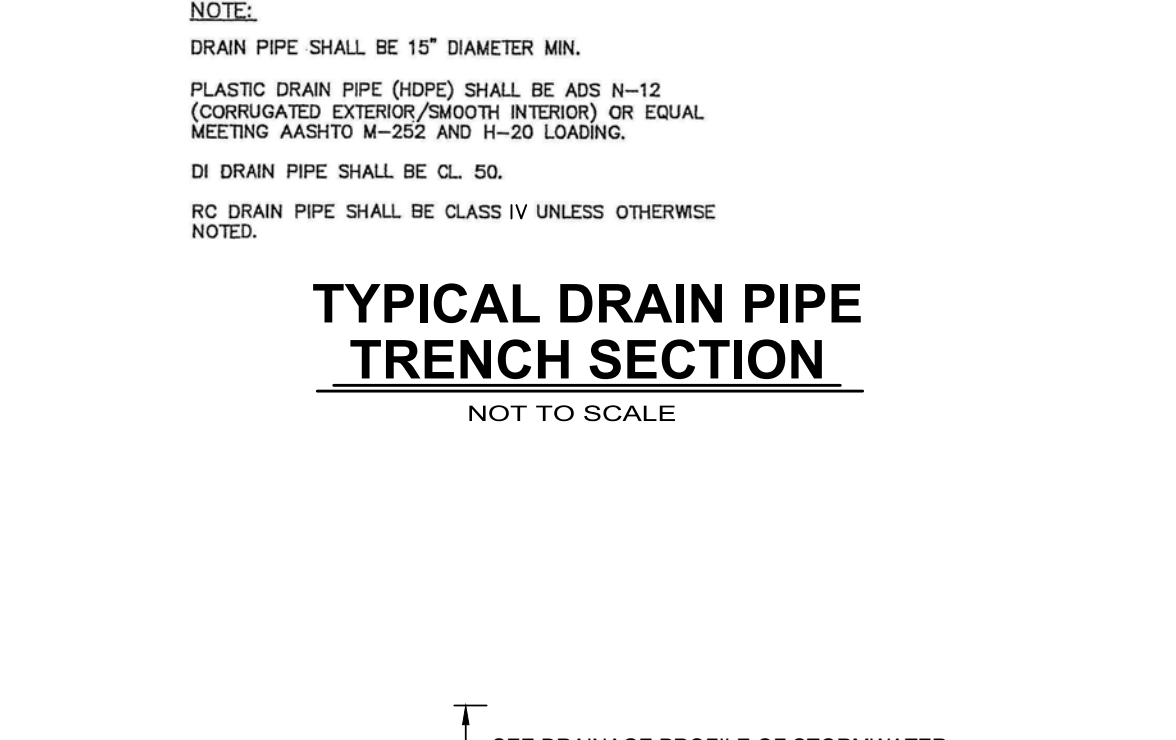
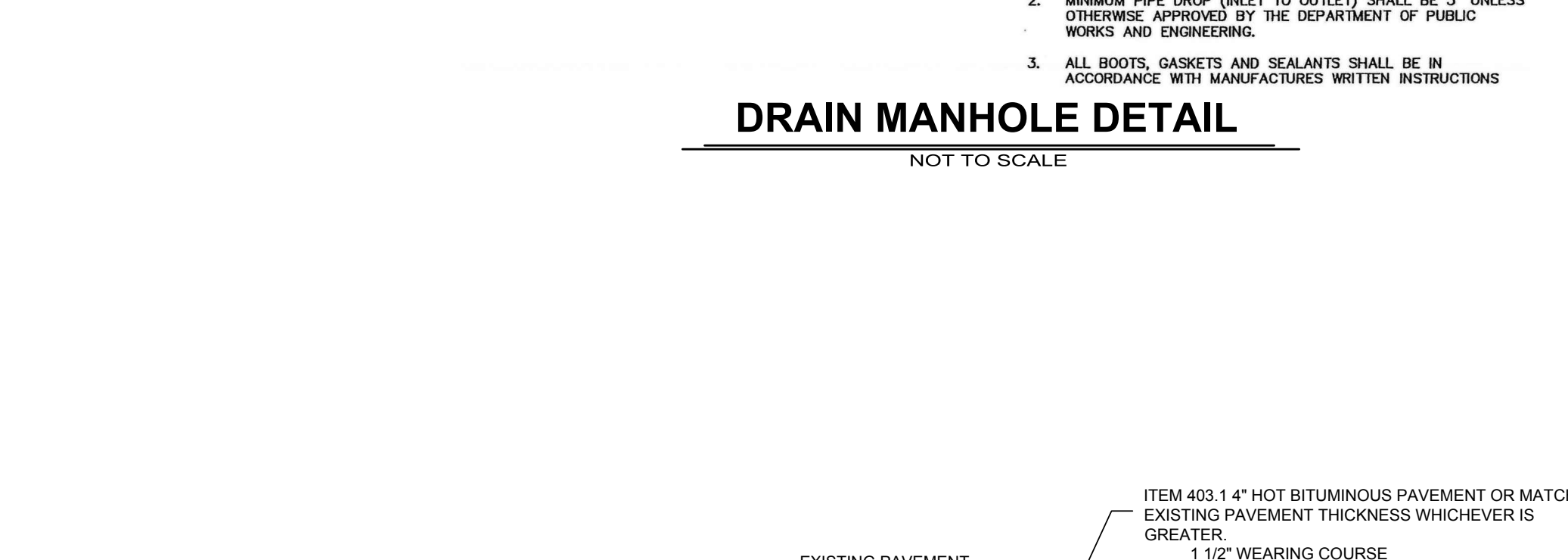
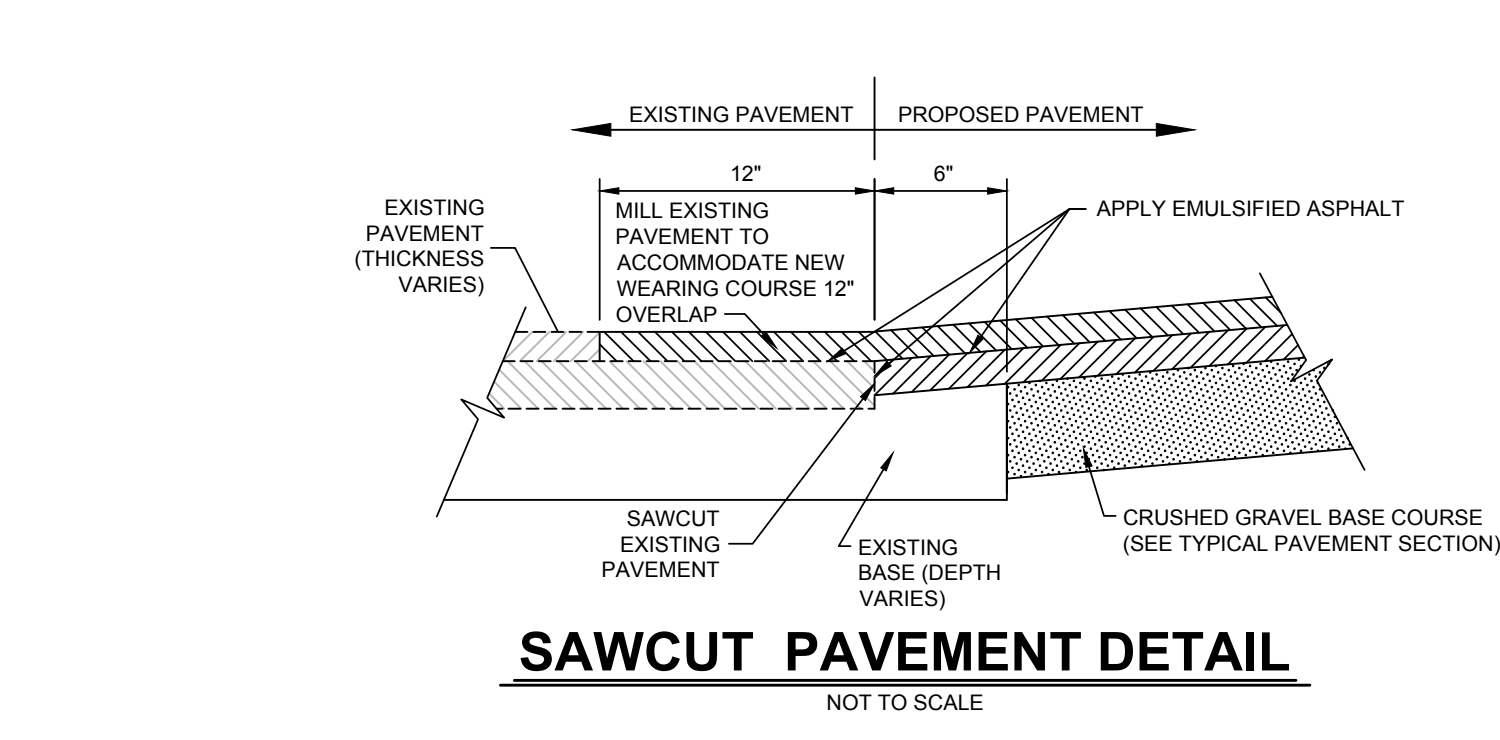
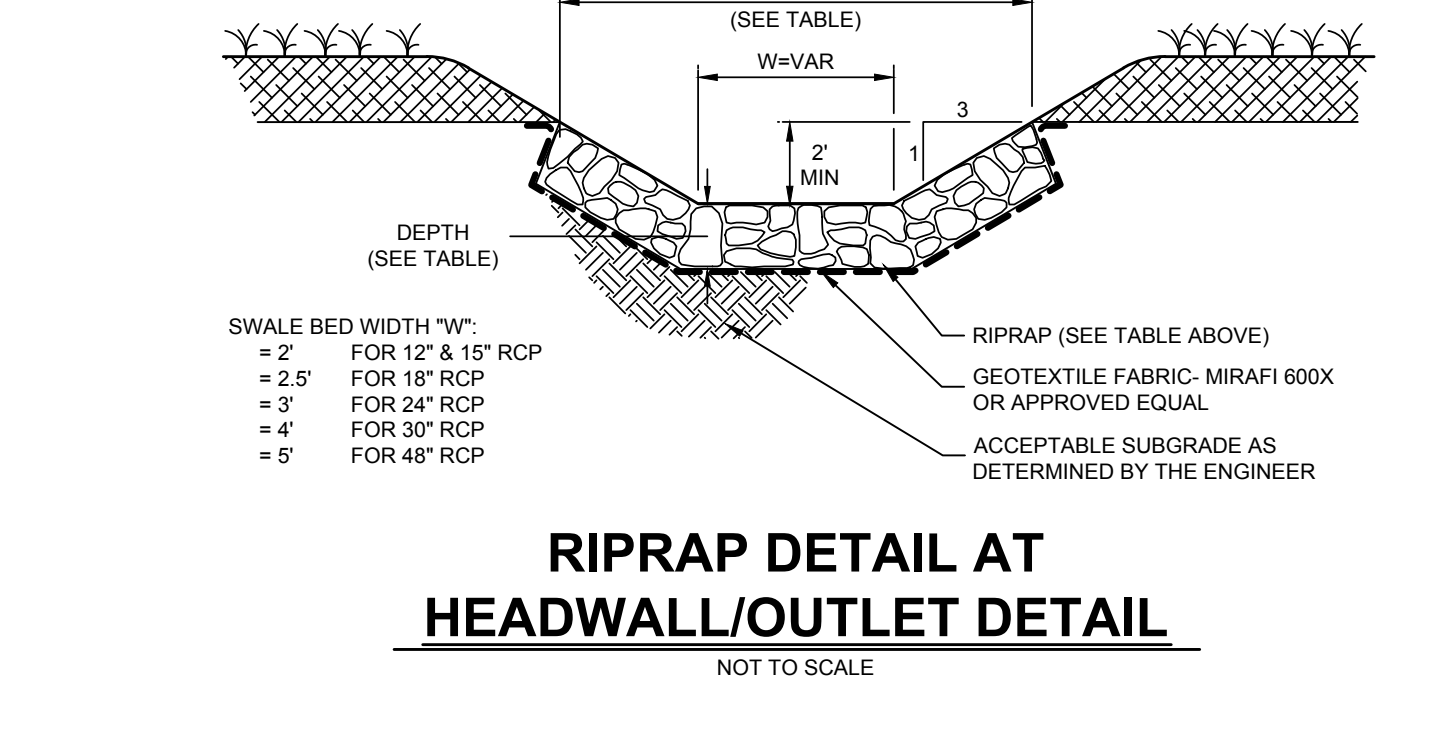
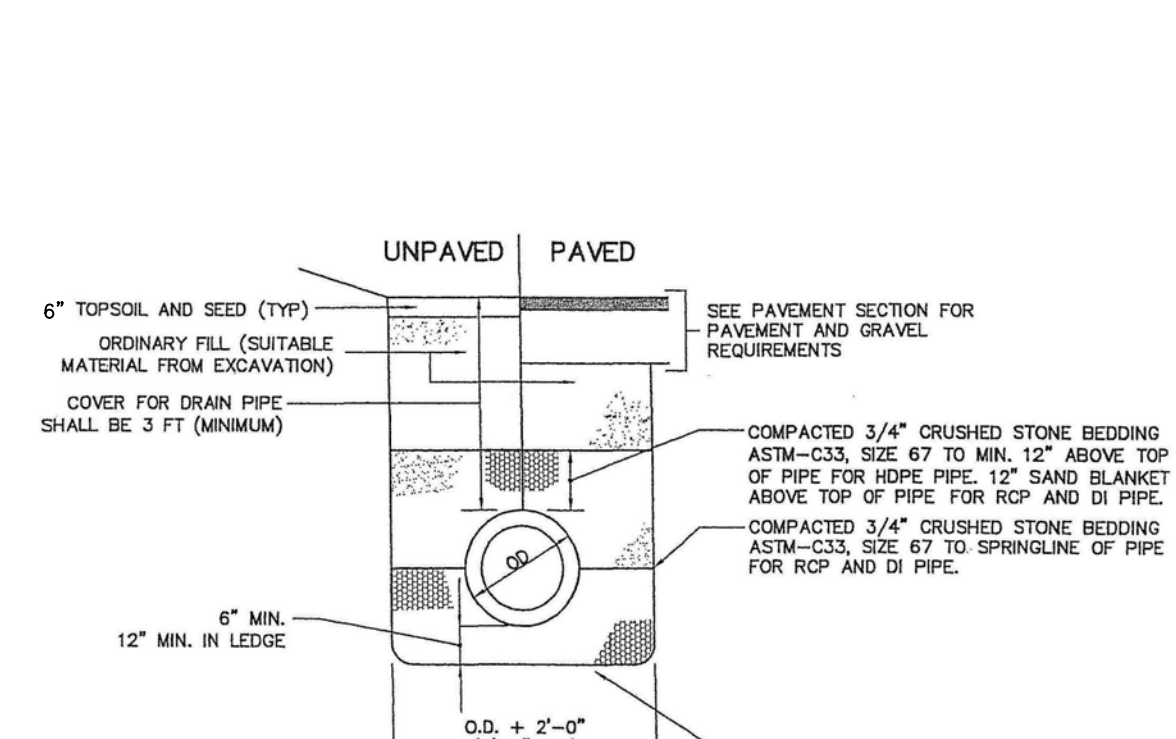
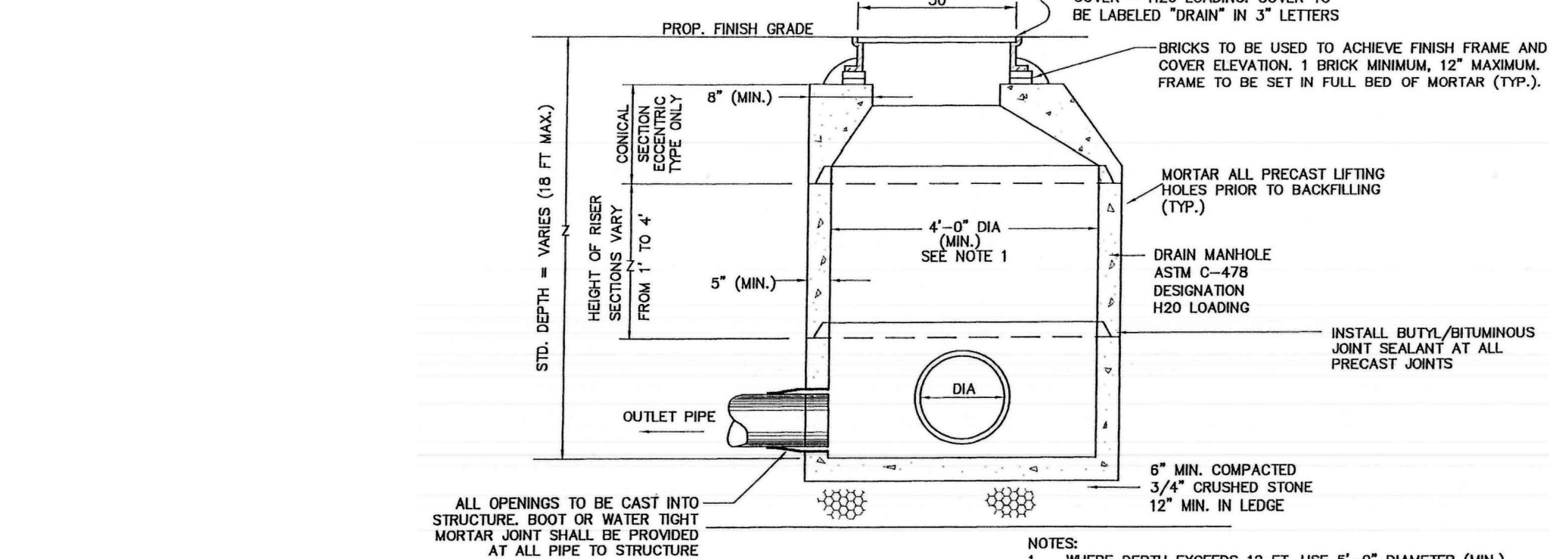
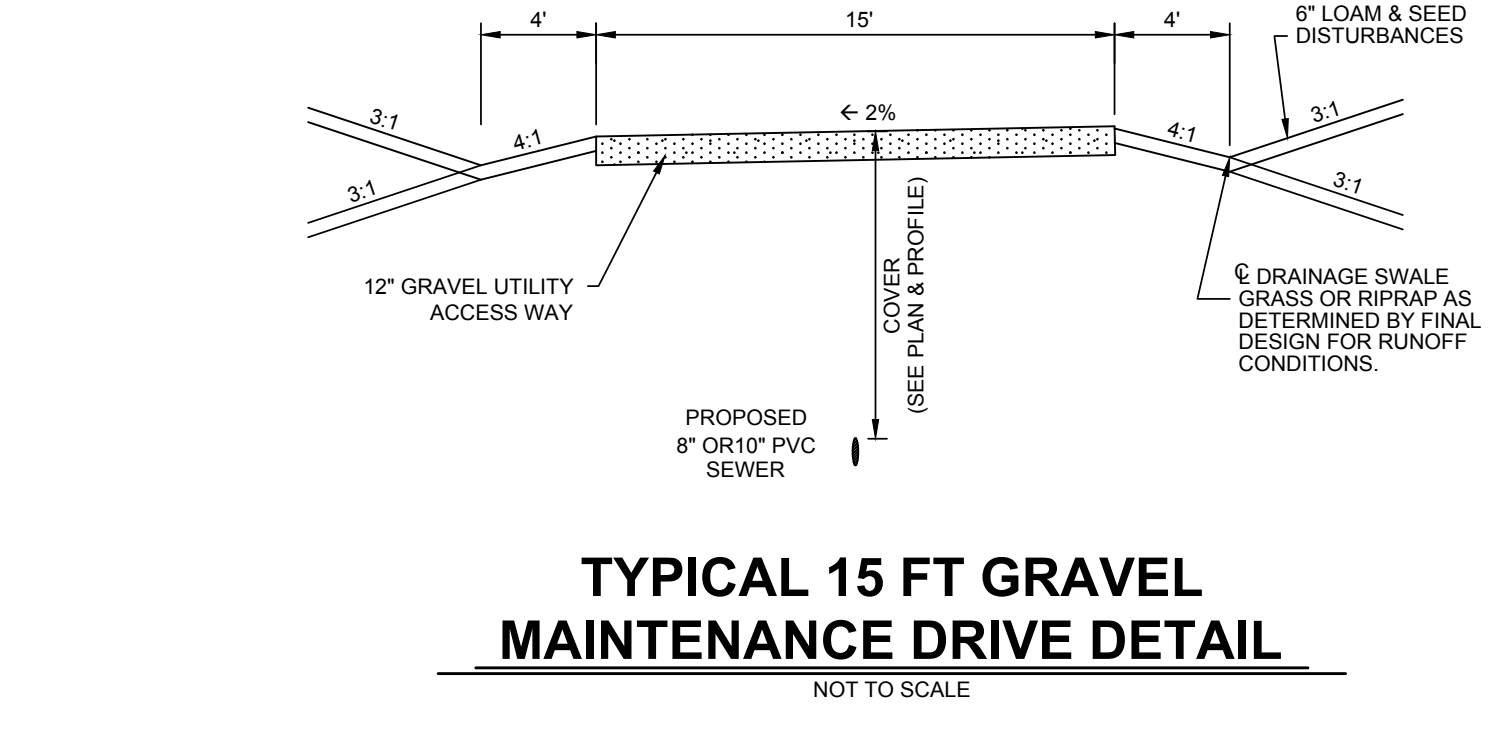
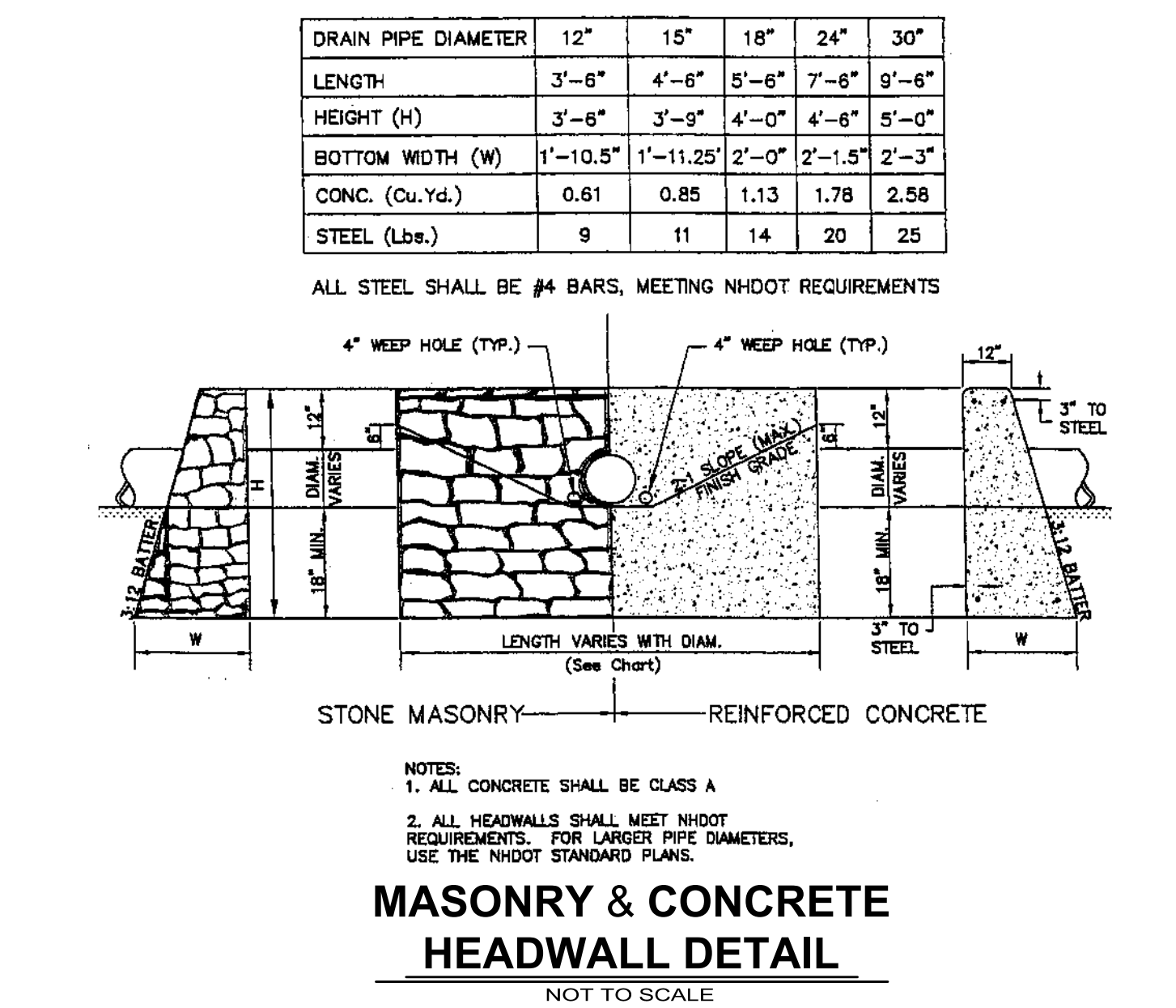
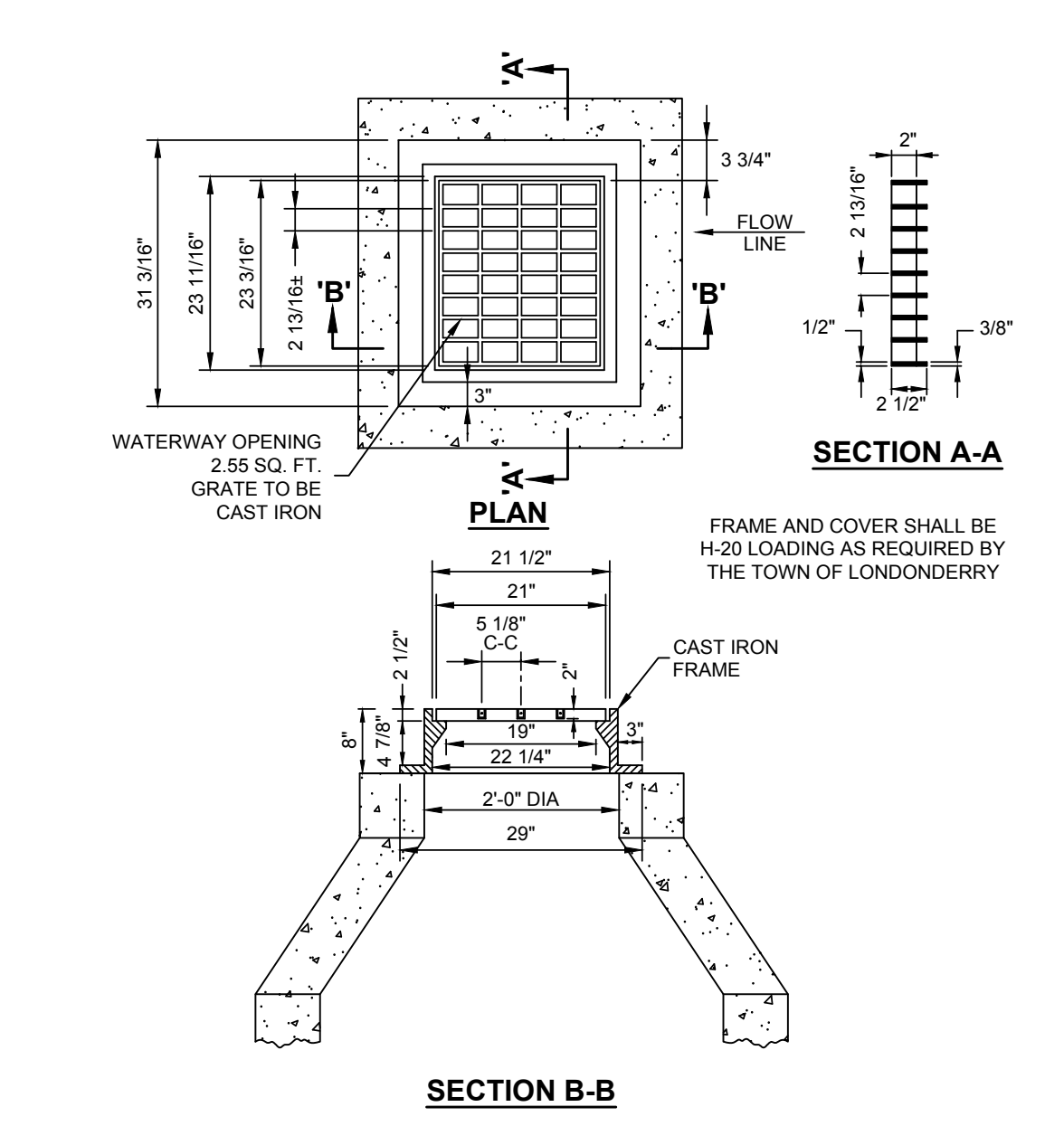
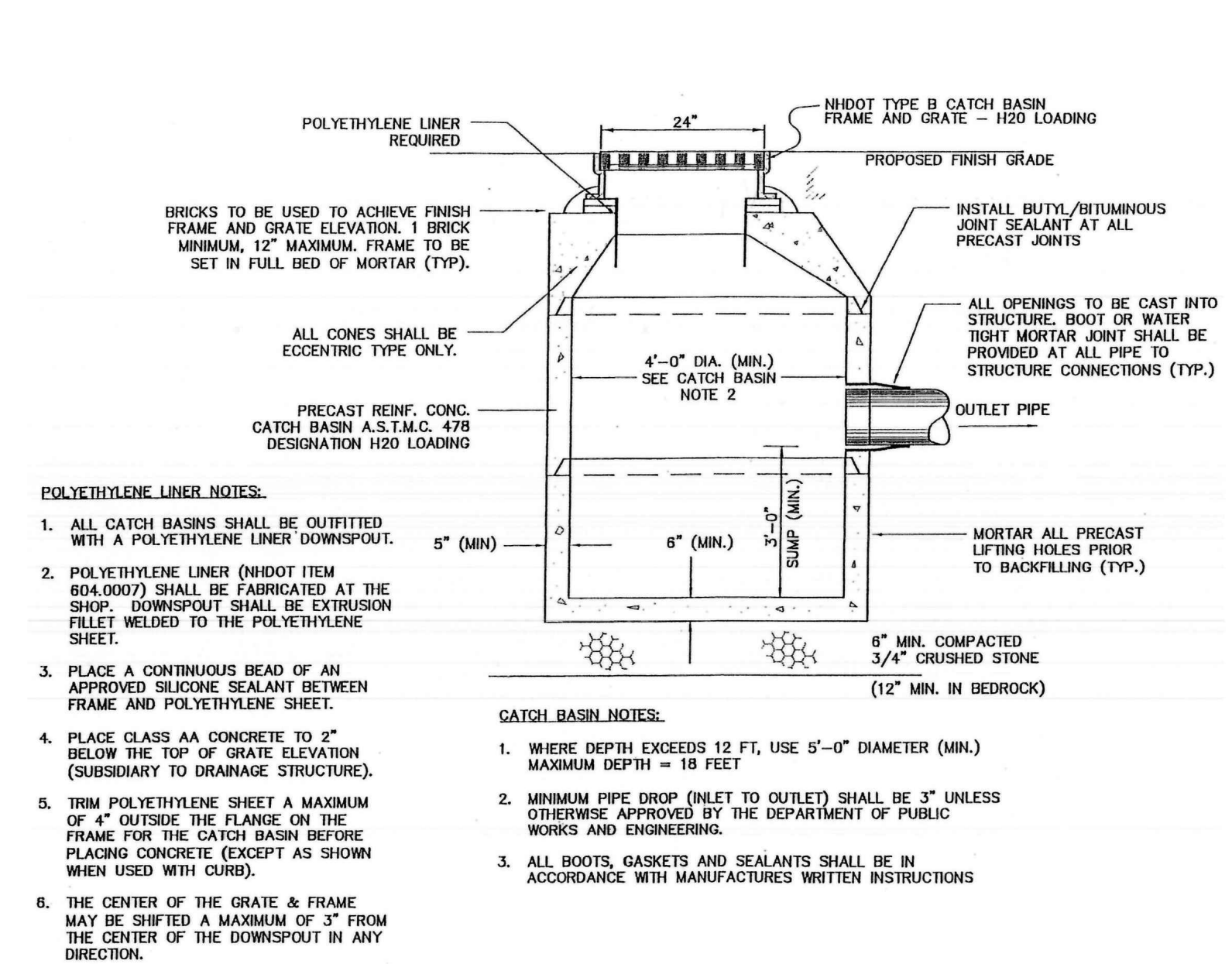
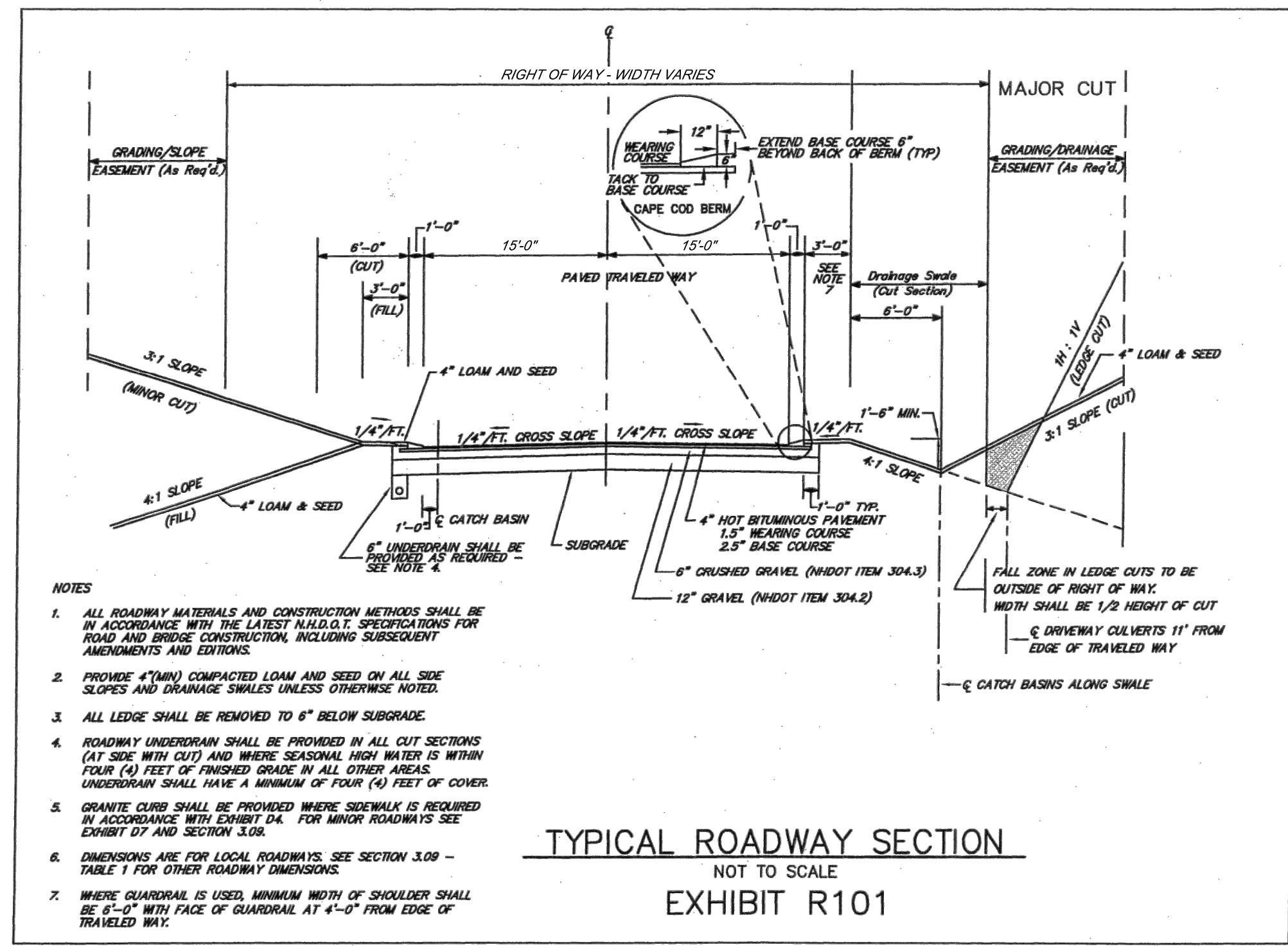
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FIELD BOOK: 1072.1056.1058 | DRAWING NAME: 4307US-DET1 | 4307-US | 6 OF 7
DRAWING LOCATION: J:\4000\4307.DWG\4307-US

BENCHMARK
TOP OF DRILL HOLE
NORTHEAST CORNER OF TOWER
LEASED AREA ON
LOT 103, MAP 15
ELEV. = 365.36
(1929 NGVD DATUM)

PRELIMINARY
DESIGN REVIEW

No.	DATE	REVISION	BY



DETAIL SHEET - GENERAL
(MAP 17, LOT 45)
**PROPOSED SEWER MAIN EXTENSION
and PAGE ROAD IMPROVEMENTS**
14 PAGE RD. & 280 ROCKINGHAM RD.
LONDONDERRY, NEW HAMPSHIRE
PREPARED FOR/ RECORD OWNER:
EVANS FAMILY LIMITED PARTNERSHIP
20 AUBURN ROAD LONDONDERRY, NEW HAMPSHIRE 03053 (603) 434-7911

NOTES

- APPLY TACK COAT PRIOR TO PLACEMENT OF CURB.
- BITUMINOUS CURB MATERIAL SHALL MEET THE REQUIREMENTS OF NHDOT SECTION 609.
- CAPE COD BERM DIMENSIONS SHALL MATCH THOSE GIVEN IN THIS DETAIL.

CAPE COD BERM DETAIL
NOT TO SCALE

BENCHMARK
TOP OF DRILL HOLE
NORTHEAST OF NORTHEAST
CORNER OF TOWER
LEASED AREA ON
LOT 103, MAP 15
ELEV. = 365.36
(1929 NGVD DATUM)

TRENCH PATCH DETAIL - ROADWAYS
NOT TO SCALE

No.	DATE	REVISION	BY

STORMWATER MANAGEMENT AREA UNDERDRAIN DETAIL
NOT TO SCALE

SCALE AS SHOWN

10 APRIL 2023

PRELIMINARY DESIGN REVIEW

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DRAWING LOCATION: J:\4000\4307.DWG\4307-US

4307-US	7 OF 7
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Attachment E

280 ROCKINGHAM RD

Location 280 ROCKINGHAM RD

Mblu 017/ 045/ 0/ /

Acct# 3283

Owner EVANS FAMILY LLC

PBN

Assessment \$41,061

Appraisal \$4,483,100

PID 3227

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2024	\$0	\$4,483,100	\$4,483,100

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$0	\$41,061	\$41,061

Owner of Record

Owner EVANS FAMILY LLC

Sale Price \$0

Co-Owner

Certificate

Address 20 AUBURN RD
LONDONDERRY , NH 03053

Book & Page 6176/1372

Sale Date 10/09/2020

Instrument 38

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
EVANS FAMILY LLC	\$0		6176/1372	38	10/09/2020
EVANS FAMILY LTD PARTNERSHIP	\$0		5643/1587	00	08/07/2015
EVANS FAMILY LTD PARTNERSHIP	\$0		4335/0294	00	07/27/2004
EVANS FAMILY LTD PARTNERSHIP	\$0		3085/716	38	12/20/1994
EVANS, JOHN R TRUST	\$0		2639/2691	00	10/20/1986

Building Information

Building 1 - Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost
Less Depreciation: \$0

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Grade	
Stories	
Foundation	
Exterior Wall 1	
Exterior Wall 2	
Roof Structure	
Roof Cover	
Interior Wall 1	
Interior Wall 2	
Interior Floor 1	
Interior Floor 2	
Heat Fuel	
Heat Type	
AC Percent	
Bedrooms	
Full Baths	
Half Baths	
Extra Fixtures	
Total Rooms	
Bath Rating	
Kitchen Rating	
Extra Kitchens	
Interior/Exterior	
2nd Floor %	
Fireplace Rating	
MH Park	
Electric	
Insulation	
Unfinished Area	
Fireplace(s)	

Building Photo



(<https://images.vgsi.com/photos/LondonderryNHPhotos//default.jpg>)

Building Layout

(ParcelSketch.ashx?pid=3227&bid=3227)

Building Sub-Areas (sq ft)	Legend
No Data for Building Sub-Areas	

2nd Ext Wall %	
Basement Area	
Bsmt Garage	
WS Flues	
2nd Heat Type	
# Heat Systems	
% Heated	
View	
Frame	
Basement Floor	
# of Units	
WS Flue Rating	
Solar Hot Water	
Central Vac	
2nd % Heated	

Extra Features

Extra Features	<u>Legend</u>
No Data for Extra Features	

Land

Land Use		Land Line Valuation	
Use Code	4400	Size (Acres)	213.98
Description	Vacant Land Dev	Frontage	
Zone	IND-I	Depth	
Neighborhood		Assessed Value	\$41,061
Alt Land Appr	No	Appraised Value	\$4,483,100
Category			

Outbuildings

Outbuildings	<u>Legend</u>
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2023	\$0	\$4,483,100	\$4,483,100
2023	\$0	\$2,802,000	\$2,802,000

2022	\$0	\$2,802,000	\$2,802,000
------	-----	-------------	-------------

Assessment			
Valuation Year	Improvements	Land	Total
2023	\$0	\$41,061	\$41,061
2023	\$0	\$31,499	\$31,499
2022	\$0	\$31,499	\$31,499

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Attachment F

[Search](#) [Street Listing](#) [Sales Search](#) [Feedback](#) [Back](#) [Home](#)

11 SANBORN RD

[Sales](#) [Print](#) [Field Card](#) [Map It](#)

Location	11 SANBORN RD	Mblu	015/ 164/ 0/ /
Acct#	2723	Owner	CJE NOMINEE TRUST
PBN		Assessment	\$308,400
Appraisal	\$308,400	PID	2690
Building Count	1		

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2024	\$163,500	\$144,900	\$308,400

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$163,500	\$144,900	\$308,400

Owner of Record

Owner	CJE NOMINEE TRUST	Sale Price	\$285,000
Co-Owner	EVANS, CHARLES H; TRUSTEE	Certificate	
Address	11 SANBORN RD	Book & Page	6472/1853
	LONDONDERRY, NH 03053	Sale Date	03/17/2023
		Instrument	25

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
CJE NOMINEE TRUST	\$285,000		6472/1853	25	03/17/2023
CONNER JAMES F	\$0		5967/913	38	12/10/2018
CONNER JAMES F	\$0		4332/0790	48	07/21/2004
CONNER JAMES F	\$0		2375/725	00	10/20/1981

Building Information

Building 1 : Section 1

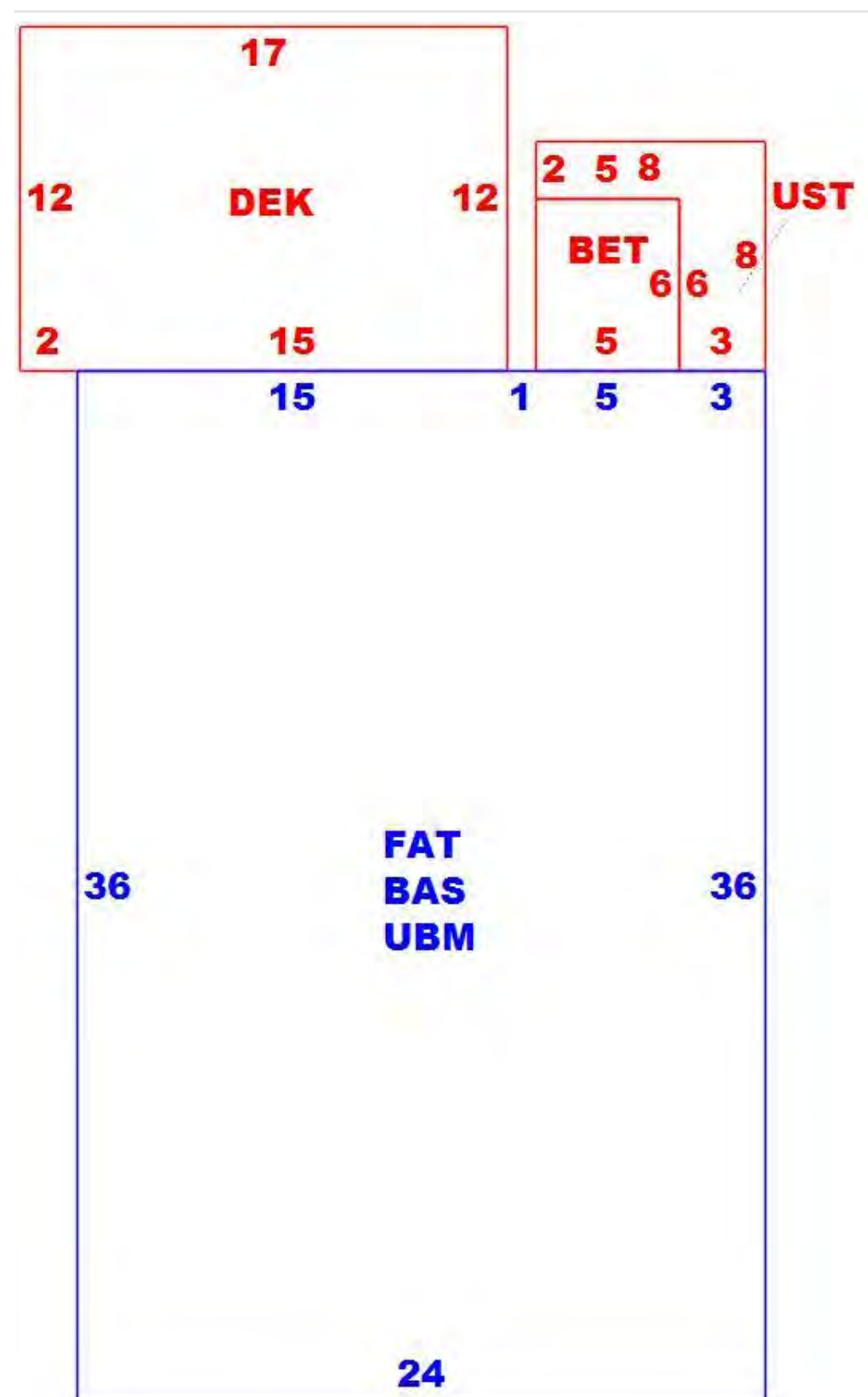
Year Built: 1940
Living Area: 1,020
Replacement Cost: \$228,691
Building Percent Good: 71
Replacement Cost Less Depreciation: \$162,400

Building Attributes	
Field	Description
Style	Bungalow
Model	Residential
Grade	Average
Stories	1.3
Foundation	
Exterior Wall 1	Vinyl
Exterior Wall 2	
Roof Structure	Gable
Roof Cover	Asphalt
Interior Wall 1	Drywall
Interior Wall 2	
Interior Floor 1	Carpet
Interior Floor 2	Laminate
Heat Fuel	Gas
Heat Type	Forced H/A
AC Percent	0
Bedrooms	2
Full Baths	1
Half Baths	0
Extra Fixtures	0
Total Rooms	5
Bath Rating	
Kitchen Rating	
Extra Kitchens	0
Interior/Exterior	
2nd Floor %	
Fireplace Rating	
MH Park	
Electric	
Insulation	
Unfinished Area	
Fireplace(s)	0
2nd Ext Wall %	
Basement Area	
Bsmt Garage	0
WS Flues	
2nd Heat Type	
# Heat Systems	
% Heated	
View	
Frame	
Basement Floor	
# of Units	1
WS Flue Rating	
Solar Hot Water	No
Central Vac	No
2nd % Heated	

Building Photo



Building Layout



Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	864	864
FAT	Attic - Finished	864	156
BET	Basement Entry	30	0
DEK	Deck	204	0
UBM	Unfinished Basement	864	0
UST	Storage - Unfinished	34	0
		2,860	1,020

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code 1010
Description Single Family
Zone AR-I
Neighborhood 130
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 0.3
Frontage
Depth
Assessed Value \$144,900
Appraised Value \$144,900

Outbuildings

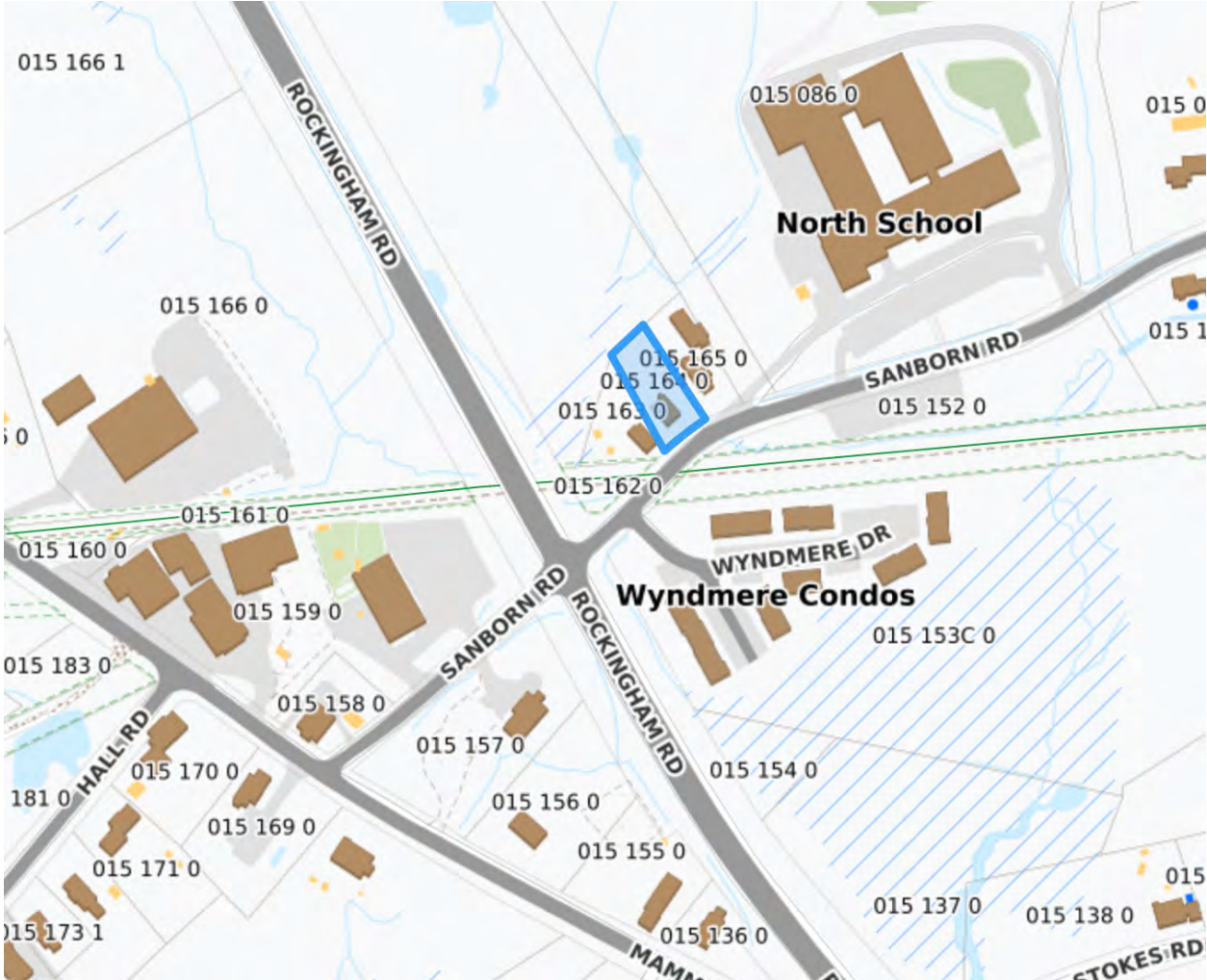
Outbuildings							Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #	
SHDV	Shed Vinyl			80.00 SF	\$900	1	
LNT0	Leanto			64.00 SF	\$200	1	

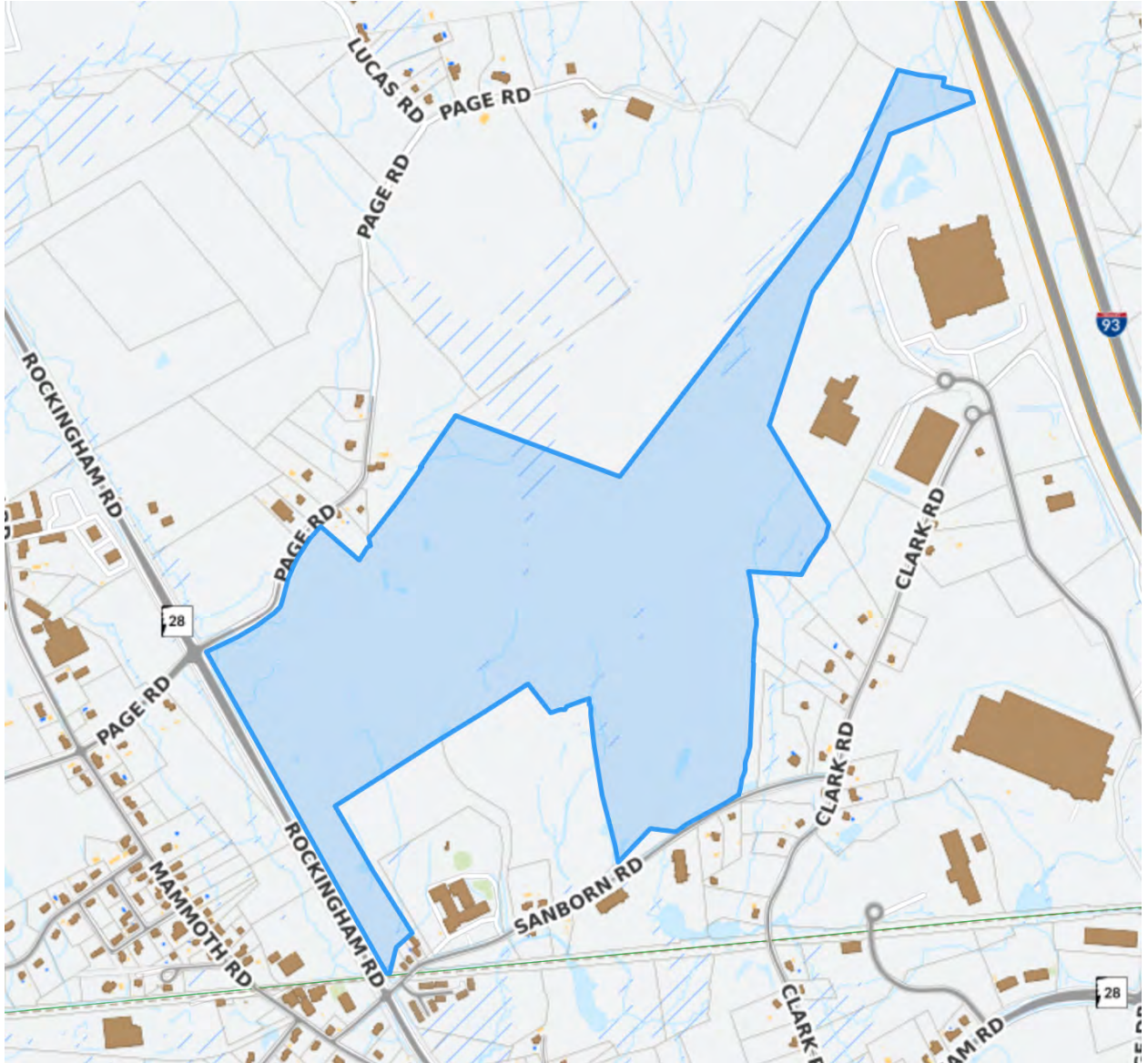
Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2023	\$163,500	\$144,900	\$308,400
2023	\$144,200	\$108,900	\$253,100
2022	\$146,200	\$108,900	\$255,100

Assessment			
Valuation Year	Improvements	Land	Total
2023	\$163,500	\$144,900	\$308,400
2023	\$144,200	\$108,900	\$253,100
2022	\$146,200	\$108,900	\$255,100

Attachment G







Attachment H

RESOLUTION 2009-18

A Resolution
*A Policy Relative to Town Acceptance
Of Privately Owned Wastewater Facilities*

First Reading: 10/19/09
Adopted: 10/19/09

WHEREAS the Town of Londonderry owns and operates wastewater collection sewers, interceptor sewers, pump stations, and force main facilities (hereinafter referred to as "Town Sewers") which serve parts of the Town; and

WHEREAS the Town Council has adopted the Wastewater Facilities Plan update for the Town of Londonderry dated January 2005; and

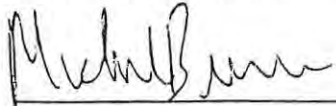
WHEREAS the Town Council has adopted a policy relative to construction of wastewater facilities, Resolution 2005-21; and

WHEREAS the Town has adopted a revised Sewer Use Ordinance, Ordinance 2007-02; and

WHEREAS design and construction of wastewater facilities are governed by said ordinances, and by regulations published by the New Hampshire Department of Environmental Services for use by municipalities and other entities; and

WHEREAS the Town may desire to accept ownership of facilities (such as gravity sewers, pump stations, force mains and associated appurtenances) built by entities other than the Town, that may be located on private parcel or lots, (hereinafter referred to as "private facilities").

NOW THEREFORE BE IT RESOLVED that the Londonderry Town Council hereby adopts the following policy as it considers acceptance of privately owned wastewater facilities.


Michael Brown, Chairman
Town Council


Marguerite Seymour - Town Clerk/Tax Collector

(TOWN SEAL)

A TRUE COPY ATTEST:
10/19/09

A POLICY RELATIVE TO TOWN ACCEPTANCE OF PRIVATELY OWNED WASTEWATER FACILITIES

1. If the private facilities to be transferred to the Town have already been planned, designed, and constructed prior to the private entity's request for consideration of transfer to Town ownership, the Town shall perform any evaluations that the Town deems appropriate to assure itself that such transfer of ownership of said private facilities is in the best interest of the Town. These evaluations shall include but not be limited to: Review of the design plans, review of the record drawings, and evaluation of the equipment (e.g. at pump stations) for quality and adherence to Town, and the New Hampshire Department of Environmental Services (NHDES) Standards. The review shall also include electrical, instrumentation, ventilation, heating, and all other building systems and components, as appropriate. All costs related to making such evaluations, and all costs necessary to alter the existing private facilities to bring facilities into compliance with Town and NHDES standards and appropriate building codes shall be borne by the private facility's owner.
2. If the facilities are not yet built, and the private entity proposes that the Town accept the facilities at some future date, the system shall be designed and constructed in accordance with Town-approved standards, and shall receive written approval of design documents from the Town, New Hampshire Department of Environmental Services, and other agencies having approval authority. Design capacities shall be subject to Town review and approval and shall be consistent with the Town's Facilities Plan.
3. Under this Policy, the Town makes no commitment to make available to such private entity any connection fees that may result from connections to these facilities from future sewer connections made directly to, and/or upstream of, said private facilities by any entity.
4. Design and construction of such facilities shall conform to all local, state and federal regulations for their intended use.
5. Ownership of such private facilities shall be transferred to the Town, free of any liens (current or potential) and free of any charges for capital costs, cost for design, easement and associated transfer costs, utility connection or transfer costs, past operation and maintenance cost, and any other cost that may require the Town to make payment of any kind or amount to transfer the ownership of such private facilities from the private entity to the Town.
6. Said facilities shall be constructed within existing Town-owned rights-of-way or rights-of-way to be provided to the Town by appropriate actions of said private entities. For facilities to be constructed in state-owned rights-of-way (e.g., DOT), or other public or semi-public rights-of-ways, the private entity shall make all arrangements and pay all fees to allow said facilities to be constructed in such rights-of-ways.
7. Property on which permanent above-ground facilities, such as pump stations, are situated shall be transferred to the Town in "fee simple," and not as an easement, if required by the Town. Such parcels shall be of sufficient size and configuration, in the opinion of the Town, to properly operate, maintain, repair, and replace both above-ground and below-ground facilities.
8. Permanent easements for underground facilities shall be a minimum of 30-feet wide, or as may be required for repair and replacement of underground facilities in the opinion of the Town.

9. Sewer and connected facilities shall have been constructed to prevent groundwater infiltration and stormwater inflow (I/I). The Town reserves the right to require documentation and/or testing as deemed appropriate by the Town, to properly make this assessment, all at the expense of the private entity in question.
10. To be considered under this policy, the private facility must have been planned, designed, and constructed to serve, or be able to serve, the drainage area(s) identified in the Town's Facilities Plan (as duly amended) if applicable, or such drainage area(s) identified by the Town. The initially constructed capacity of pumping facilities to be accepted by the Town shall be equal to 50% (minimum) of the full build-out capacity for the selected drainage area. The capacity of the gravity line(s) and force main(s) must be designed and constructed to meet 100% of the flows calculated for the selected drainage area.
11. To be considered under this policy, acceptance of the private facilities must provide benefits to the Town and must be consistent with other Town policies and published plans such as the Town Master Plan.
12. Ownership of said facilities may be transferred to the Town after final construction is completed, the facilities have reached or exceeded 50% of the design average flows for the drainage area, and have performed satisfactorily (as defined by the Town) for at least 12 months in full-time, continuous active services, and have been reviewed and formally accepted by the Town in writing.

Nothing in this policy prevents the Town from entering (or not entering) into any agreement that the Town deems to be in the best interest of the Town.

Attachment I

DECLARATION OF SEWER EASEMENTS

NOW COMES Evans Family, LLC, a New Hampshire limited liability company, with a principal place of business at 20 Auburn Road, Londonderry, New Hampshire, and Charles Evans, Trustee of the CJE Nominee Trust, of 11 Sanborn Road, Londonderry, New Hampshire, f and hereby declare and establish the following drainage easements over the property owned by the within grantors known as Map 15, Lot 164 and Map 17, Lot 45 located on Page Road and Sanborn Roads, Londonderry, New Hampshire, and further described as follows:

TRACT I

20 Foot Sewer Easement

A twenty-foot (20) wide sewer easement beginning on the southeasterly side of Page Road in Londonderry, New Hampshire and extending generally southerly to the northerly line of Sanborn Road in Londonderry as shown on a plan of land entitled “Easement Plan (Map 15, Lot 164 & Map 17, Lot 45), Proposed Sewer Main Extension and Page Road Improvements, 14 Page Road, 280 Rockingham Road and 11 Sanborn Road, Londonderry, New Hampshire” dated October 20, 2023 and recorded as Plan Number .

Conveying to the Grantee a permanent easement and right of way giving the Grantee the exclusive right within this easement area to operate and maintain, repair and replace as required sanitary sewer lines and any appurtenances thereto, including Grantee’s right to enter with men and machine for purposes of accomplishing the foregoing.

TRACT II

Temporary Sewer Maintenance Access Easement

A twenty-foot (20) wide Temporary Sewer Maintenance Access Easement beginning on the southerly side of Page Road in Londonderry, New Hampshire and extending easterly to the westerly line of the 20 foot wide Sewer Easement described as Tract I above and as shown on a plan of land entitled "Easement Plan (Map 15, Lot 164 & Map 17, Lot 45), Proposed Sewer Main Extension and Page Road Improvements, 14 Page Road, 280 Rockingham Road and 11 Sanborn Road, Londonderry, New Hampshire" dated October 20, 2023 and recorded as Plan Number .

Together with the right to pass and repass over the Temporary Sewer Maintenance Access Easement area with men and Machines to access the Sewer Easement area until such time as a driveway access to the Sewer Easement is established off Page Road.

Grantor shall have the right to fully use and enjoy the premises except for such uses as may unreasonably interfere with the rights granted herein. Grantor agrees to place no permanent structure or building upon any of the easements which might interfere with the proper maintenance of the sewer line or its services in connection therewith. The application of asphalt pavement in the Sewer Easement area enabling parking or driveway access for mobile vehicles does not interfere with access to and/or proper maintenance of the sewer line.

Any person performing any construction or maintenance within the easement areas shall restore the easement area and any other area of Grantor's property that may be disturbed by the work to substantially the same condition as prior to such construction or maintenance work.

The within described easements are for the benefit of 13 Page Road also known as Tax 17 Lot 27 and 14 Page Road, also known as Tax Map 17 Lot 45 in Londonderry, New Hampshire and shall run with the land.

Meaning and intending to describe a portion of the property conveyed to Evans Family, LLC pursuant to the deed recorded in the Rockingham County Registry of Deeds at Book 6176, Page 1372, and to the CJE Nominee Trust pursuant to the deed recorded at Book 6472, Page 1853.

IN WITNESS WHEREOF, Charles Evans, General Partner of Evans Family, LLC and Charles Evans, Trustee of the CJE Nominee Trust, have hereunto set their hands this _____ day of _____, 2024.

EVANS FAMILY, LLC

Witness

Charles Evans, Manager

CJE NOMINEE TRUST

Witness

Charles Evans, Trustee

STATE OF NEW HAMPSHIRE
COUNTY OF _____

The foregoing instrument was acknowledged before me this ___ day of _____,
2024, by Charles Evans, Manager of Evans Family, LLC.

Before me,

Justice of the Peace/Notary Public

STATE OF NEW HAMPSHIRE
COUNTY OF _____

The foregoing instrument was acknowledged before me this ___ day of _____,
2024, by Charles Evans, Trustee of the CJE Nominee Trust.

Before me,

Justice of the Peace/Notary Public

Attachment J

CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)

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CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)

GENERAL PROVISIONS – Purpose and Policy

This Ordinance combined with the Town’s Sewer Use Ordinance are the rules and regulations of the Town. The Sewer Use Ordinance should be consulted for additional regulations concerning these facilities.

It is determined and declared to be necessary and conducive to the protection of the public health; safety, welfare and convenience of the people of the Town to collect charges from all users of the wastewater facilities. The proceeds of charges so derived will be used only for the purpose of operating and maintaining and paying down the debt service of the public wastewater facilities.

ARTICLE I - DEFINITIONS

Unless the context specifically indicates otherwise the meaning of the terms in this ordinance shall be as follows:

- Section 1: Access Fee. A fee paid at the time of application for a sewer permit to cover past and future capital costs for wastewater facilities.
- Section 2: Biochemical Oxygen Demand, (BOD). The quantity of oxygen utilized in the biochemical oxidation of organic matter under standard laboratory procedure in five (5) days at 20⁰C, expressed in milligrams per liter.
- Section 3: Biosolids. The organic solid or semi-solid material by-product of the wastewater treatment processes, formerly referred to as sludge.
- Section 4: Commercial User. All retail stores, restaurants, office buildings, laundries, and other private business and service establishments.
- Section 5: Commercial Unit. A single commercial user, including a commercial user who is in a common building with other commercial or residential users.
- Section 6: Connection Fee. The cost to cover the administration and inspection of sewer connections for new users, or existing users that have had a change of ownership or use.
- Section 7: Domestic Wastewater or Sanitary Sewage. The normal water-carried household and toilet waste from sanitary conveniences, excluding ground, surface or storm water, and industrial waste.

CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)

ARTICLE I – DEFINITIONS (Cont'd.)

- Section 8: Enterprise Fund. A system of finance similar to a business system where the cost of operation is paid for solely by user fees. The Town financial management system.
- Section 9: Industrial User. Any contributor who discharges industrial wastes to the sanitary sewer of the Town.
- Section 10: Industrial Waste. Any liquid, gaseous or solid waste substance resulting from any process of industry, manufacturing, trade or business or from development of natural resources.
- Section 11: Infiltration /Inflow (I/I). Seepage from the ground or flow from surface sources respectively, that occur in the system.
- Section 12: May. Means permissive (see "shall,").
- Section 13: Operation and Maintenance. Those functions that result in expenditures during the useful life of the wastewater facilities for materials, labor, utilities and other items which are necessary for managing and maintaining the facilities to achieve the capacity and performance for which the facilities were designed and constructed. The term operation and maintenance includes replacement as defined herein.
- Section 14: Meter or Water Meter. A water measuring and recording device which is approved by the Town and furnished and installed at the user's expense.
- Section 15: Replacement. Expenditures for obtaining and installing equipment, accessories or appurtenances which are necessary to maintain the capacity and performance for which the facility was designed and constructed.
- Section 16: Residential Unit. A single family home, an apartment, a condominium, a townhouse, mobile home, etc.
- Section 17: Residential User. Any contributor to the facility whose lot, parcel, real estate, or building is used for domestic dwelling purposes only.
- Section 18: Sewage. See wastewater.
- Section 19: Sewer. A pipe or conduit that carries wastewater.
- Section 20: Shall. Means mandatory (see "may,").
- Section 21: Suspended Solids or TSS. The total suspended matter that floats on the surface of, or is suspended in water, wastewater or other liquid, and that is removable by laboratory filtering.

Title IV – Health, Safety & Welfare

Section 22: Town. The local authority for matters concerning wastewater facilities.

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)**

ARTICLE I– DEFINITIONS (Cont'd'.)

Section 23: Useful Life. The estimated period during which the facility will be operated.

Section 24: User Charge Fee. A charge levied on the users of a facility for the cost of operation maintenance, replacement and debt service.

Section 25: Wastewater. The spent water of the community. It may be a combination of the liquid and water carried wastes from residences, commercial buildings, industrial plants, and institutions, together with any unpolluted water which may be present. Also referred to as sewage.

Section 26: Wastewater Treatment Plant or Works, or Wastewater Treatment Facilities, WWTF or Facility. An arrangement of devices and structures for transporting, and treating wastewater and biosolids of the Town. Also referred to as publicly owned treatment works, POTW. The terms include all sewers and components located in Londonderry, Manchester, and Derry involved in the handling of the Town of Londonderry's wastewater and its byproducts.

ARTICLE II - FUND MANAGEMENT

Section 1: The revenues collected, as a result of the user charges levied, shall be deposited in a separate non-lapsing account known as the SEWER FUND.

Section 2: This fund will be managed as an enterprise fund where excess funds may be retained from year to year.

Section 3: Fiscal year-end balances in the SEWER FUND shall be used for no other purpose than those designated. Monies which have been transferred to or from other sources to meet temporary shortages in funds shall be returned to their respective accounts upon appropriate adjustments. The user charge rates will be revised as necessary such that monies transferred will be returned to the respective accounts within six months of the fiscal year end.

Section 4: The Town shall review the user charges at least annually and revise the rates as necessary to ensure that adequate revenues are generated to pay the costs of operation, maintenance and replacement as required by the Code of Federal Register (CFR) 35.2140(a)(b), and that the system continues to provide for the proportionate distribution of operation and maintenance including replacement cost among all users.

Section 5: The Town shall maintain a financial management system to account for all revenues and expenditures as required by CFR 35.2140(c)

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)**

ARTICLE III - RATES AND CHARGES

- Section 1. All users shall pay a fee for the services provided, these fees will consist of a minimum charge, to cover some of the fixed cost of the facility, including debt service, and a charge for the proportionate use of the facility based on a water meter reading, or other equitable system established by the Town.
- Section 2. Each user shall pay a user charge fee for operation, maintenance and replacement including debt service at a rate indicated in Appendix A.
- Section 3: All industrial users contributing wastewater with strength greater than 224 mg/L in BOD and/or 280 mg/L TSS shall prepare and file with the Town, a report that shall include pertinent data relating to the wastewater characteristics, including the methods of sampling and measurement to obtain these data. These data along with the rate in Appendix A shall be used to calculate the user charge for that user. The Town shall have the right to gain access to the waste stream and take samples. Should these sample results be substantially different from those submitted by the user, as determined by the Town, the user charge for that user shall be revised for the next billing period. The cost for treating other wastewater components may be charged in a similar manner as indicated in Appendix A.
- Section 4. Any user who discharges any substance which causes an increase in the cost of treating the wastewater or resulting biosolids, or any user who discharges any substance which singly or by interaction with other substances causes identifiable increases in the cost of treatment shall pay for such increase costs. The charge for such treatment will be determined by the Town.
- Section 5. The user charge fees will include the cost of pumping and treating any Infiltration /Inflow that exists within the system.

ARTICLE IV - COLLECTION PROCEDURES

- Section 1. All charges for services furnished shall create a lien upon the real estate where such services are furnished.
- Section 2. All users shall be billed quarterly. Bills shall be mailed at the end of the quarter. Payment is due within thirty days after the billing date. Payments received after the thirty day period shall be considered delinquent.
- Section 3: Interest at the rate of twelve percent (12%) per annum shall be charged on all sewer bills not paid within thirty (30) days to the billing date.
- Section 4. Any customer failing to pay sewer charges due within the calendar year will be subject to the lien process in the same manner as unpaid taxes. Upon the recording of the lien by the tax collector, interest on delinquent bills shall be increased to eighteen percent (18%) per annum.

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)**

ARTICLE V - CONNECTION PROCEDURES

- Section 1: An application for sewer connection shall be submitted by the owner of the property whenever a new connection to the sewer is requested, or a change in use or ownership of the property occurs. (See Appendix B for sample form)
- Section 2: A Connection Fee shall be required at the time of filing the application for sewer connection. The current fee shall be according to the schedule in Appendix A.
- Section 3: An Access Fee shall be required at the time the application for sewer connection is filed with the Town. For a proposed change of use to an existing user, the Access Fee shall be based on the incremental increase in flow for the new use. The Access Fee schedule is presented in Appendix A.
- Section 4: The owner shall be responsible for all costs of the installation and will comply fully with the SEWER USE ORDINANCE in force.
- Section 5: The Town may permit a private entity (developer) to extend sewer service to a subdivision with no cost or obligation to the Town. All local approvals must be obtained prior to approval of the application for sewer connection for the development. The Town may credit Connection Fees and Access Fees for the construction of the wastewater facilities by the developer as allowed by Resolution 2005-21 "Amending the Municipal Code Relative to a Policy Crediting Connection Fees for the Construction of Wastewater Facilities." In Resolution 2005-21, connection fees shall mean both Connection Fee and Access Fee.
- Section 6: The developer shall provide a bond in the total amount of the sewer extension prior to the commencement of construction. Additional details will be documented in an agreement between the developer and the Town.

ARTICLE VI - APPEAL PROCEDURE

- Section 1: Any user who feels his user charge is unjust may make written application to the Town requesting an abatement of the charges. The application shall be submitted within thirty days of receipt of the bill. This request shall show the actual or estimated flow and /or strength of the wastewater in comparison to the values set by this ordinance to include any other estimates or measurements that have been made. This action does not relieve the user from paying bills when they come due.
- Section 2: The application for abatement shall be reviewed by the Town.
- Section 3: If the Town neglects or refuses to grant an abatement, any person aggrieved may apply by petition to the Superior Court for relief at any time within ninety (90) days after the notice of the assessment, and not afterwards.

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)**

ARTICLE VII - ORDINANCE IN FORCE

This ordinance shall be in full force and effect from and after its passage, approval, recording and publication as provided by law. Be it hereby resolved that the Town of Londonderry, New Hampshire hereby passes the foregoing Sewer User Charge Ordinance this day of _____, 2007.

Chairman _____

Councilor _____

Councilor _____

Appendixes:

- A - Rate Schedule
- B - Sample Application for Connection
- C - Overdue Notice
- D - Copy Lien Notice
- E - Table 1008-1 Unit Design Flow Figures

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)**

APPENDIX A

RATE SCHEDULE

The following charges are set for the users of the Town of Londonderry's wastewater facilities

Connection Fee: \$ 200 - If the connection includes a new sewer service pipe
\$50 - If an existing sewer service pipe is to be used (transfer of property or change of use)

Access Fee:	Properties Developed after Availability of <u>Municipal Sewer</u>	<u>Existing Units</u>
Residential Unit:	\$3,467.00	\$ 500.00
Commercial/Industrial:	\$16.51/GPD	\$3.00/GPD (North Londonderry) \$8.00/GPD (South Londonderry)

GPD = gallons per day

User Charge Fee:

Residential: Flat rate of \$96.00 per quarter per residential unit

Commercial: \$ 2.52 per 100 CF, with a minimum quarterly charge of \$96.00 for usage of 3,810 cubic feet or less per quarter. For commercial users without a water meter, water usage will be calculated using Table 1008-1 Unit Design Flow Figures, included in Appendix E.

Industrial: \$ 2.52 per 100 CF, with a minimum quarterly charge of \$ 187.20 for usage of 7,430 cubic feet or less per quarter. Industrial users are also subject to fees for high strength waste, outlined below.

High Strength Waste:

\$ 0.1757 per pound of BOD per quarter for the portion of BOD concentration over 224 mg/l

\$ 0.1757 per pound of TSS per quarter for the portion of TSS concentration over 280 mg/l

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)**

APPENDIX B

APPLICATION FOR SEWER CONNECTION, TOWN OF LONDONDERRY, NH

NAME OF OWNER: _____

ADDRESS: _____

TELEPHONE NO. _____

LOCATION OF PROPERTY TO BE CONNECTED _____

TAX MAP NUMBER¹ _____ LOT NUMBER¹ _____

TYPE OF SERVICE REQUESTED: RESIDENTIAL _____ COMMERCIAL _____

INDUSTRIAL² _____ OTHER _____

FOR COMMERCIAL AND INDUSTRIAL USERS:

ESTIMATE OF AVERAGE DAILY WASTEWATER FLOW _____ GPD

NAME OF CONTRACTOR _____

I WILL COMPLY WITH THE REQUIREMENTS OF THE TOWN SEWER USE ORDINANCE AND
USER CHARGE ORDINANCE.

DATE _____ SIGNATURE (OWNER) _____

CONNECTION FEE³ PAID \$ _____ RECEIVED BY _____

ACCESS FEE⁴ PAID \$ _____ RECEIVED BY _____

RECEIPT # _____

APPROVED BY _____ (Department of Public Works)

¹ Tax Map Number and Lot Number are referred as the permit number

² Additional information and fees may be required for an industrial permit, see the Town's
Industrial Wastewater Discharge Permit Application.

³ See Sewer User Charge Ordinance for details regarding Connection Fees.

⁴ See Sewer User Charge Ordinance for details regarding Access Fees.

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)**

APPENDIX C

OVER DUE NOTICE

THE TOWN OF LONDONDERRY DOES HEREBY NOTIFY

Name of Owner: _____

Address: _____

Property: _____

Tax map number: _____ Lot Number: _____

Amount Due: _____ Amount Overdue: _____

Interest: _____

You are requested to remit the above amount as soon as possible or contact the office of the _____ at address _____ in writing within 15 days.

None payment of the amount in arrears may result in a lien being placed against the property.

Signed: _____

Date: _____

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)**

APPENDIX D

NOTICE OF LIEN

THE TOWN OF LONDONDERRY, NEW HAMPSHIRE HEREBY GIVES NOTICE
OF PENDING LIEN TO:

NAME (OWNER): _____

ADDRESS _____

The Town of Londonderry, by and through its Town Council and pursuant to RSA 38:22 II(a), does hereby state that a lien has been placed against the property described below and owned by the individuals above mentioned.

Amount of charges: _____

Date of imposition of lien: _____

Description of property: Tax map _____ Lot number _____

The above mentioned owner is hereby on notice that this lien is placed to the benefit of the Town as a consequence of sewer fees not paid in accordance with regulations adopted by the Town.

DATE _____

Councilor: _____ Witness: _____

Councilor: _____ Witness: _____

Councilor: _____ Witness: _____

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
 (Proposed May 7, 2007)**

APPENDIX E

Table 1008-1 Unit Design Flow Figures

(in Gallons per Day Per Person unless otherwise noted)

<u>USE</u>	<u>Design Flow</u>	
AIRPORTS		5
BARS, LOUNGES		20 GPD/Seat
BED & BREAKFASTS		60
CAMPS	Campground with Central Comfort Station (Figure 3 people/site)	25 plus 12 GPD dump station
	Recreational Campgrounds With 3-way hookups	90 GPD/Site
	Construction Camps (Semi-permanent)	50
	Day Camps (no meals served)	15
	Day Camps, meals served	15 plus 3 GPD/person/meal
	Dining Facility Only	3 GPD/person/meal
	Juvenile Camps	25 GPD/person plus 3 GPD/person/meal
CATERERS –	Function Rooms	12 GPD/patron
CHURCHES –	Sanctuary Seating	3
	Church Suppers	12
COUNTRY CLUBS – PRIVATE	Dining Room	10 GPD/seat
	Snack Bar	10 GPD/seat
	Locker & Showers	20 GPD/locker
DENTISTS		200 GPD/Chair plus 35 GPD/Staff Member
DOCTOR’S OFFICES		250 GPD/Doctor
DOG KENNELS		50 GPD/kennel
DWELLINGS, PER BEDROOM – (2 bedroom minimum system)		150 GPD/Bdrm
	Rooming Houses – With Meals	60
	Rooming Houses – Without Meals	40
FACTORIES (Exclusive of Industrial Waste)		
	Industry Without Cafeteria or Showers	20
	Industry With Cafeteria, No Showers	25
	Industry With Cafeteria and Showers	35
	Warehouses	35

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
 (Proposed May 7, 2007)**

APPENDIX E (Cont'd.)

Table 1008-1 Unit Design Flow Figures

(in Gallons per Day Per Person unless otherwise noted)

FIRE STATIONS	Without full-time employees; Without floor drains or food preparation	5
GYMS -	Participant Spectator	10 3
HAIRDRESSERS		150 GPD/Chair plus 35 GPD/Operator
HOSPITALS (Per Bed Space)		200 GPD/Bed
HOTELS AND MOTELS –		
	If plan shows that only one Double bed can be accommodated	100 GPD/Room
	All other	200 GPD/Room
INSTITUTIONS OTHER THAN HOSPITALS (per Bed Space)		135 GPD/Bed
LAUNDROMATS, COIN-OPERATED		500 GPD/Machine plus toilet waste
MANUFACTURED HOUSING PARKS (per site)		Figure on basis of bedrooms
MOTELS, see HOTELS		
NURSING HOMES (Per Bed Space)		125
OFFICE BUILDINGS –	Without Cafeteria With Cafeteria Unspecified Office Space	15 20 15 GPD/100 square feet
PICNIC PARKS –	Toilet Waste Only With Bathhouses, Showers and Toilets	5 10
RESTAURANTS –	Eat in, plus toilet and kitchen waste Eat in, paper service, plus toilet And kitchen waste Kitchen waste only Bars and lounges Function Rooms	40 GPD/Seat 20 GPD/Seat 3 20 GPD/Seat plus 35 GPD/Employee 12
SCHOOLS -	Boarding Day, Without Gym, Cafeteria or Showers Day, Without Gyms or Showers, with Cafeteria	100 10 15

**CHAPTER IX – SEWER USER CHARGE ORDINANCE
(Proposed May 7, 2007)**

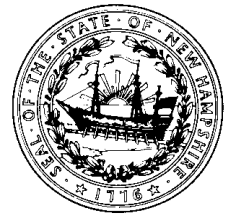
APPENDIX E (Cont'd.)

Table 1008-1 Unit Design Flow Figures

(in Gallons per Day Per Person unless otherwise noted)

SERVICE STATIONS		75 GPD/Island, plus flows from Bays, if any.
	With Bays	125 GPD/Bay
SHOPPING CENTERS, STORES		
	Dry Goods	5 GPD/100 square feet
	Supermarkets w/Meat Dept. w/o Garbage Grinder	7.5 GPD/100 square feet
	Supermarkets w/Meat Dept. w/Garbage Grinder	11 GPD/100 square feet
	Dry Goods Stores in Shopping Centers	100 GPD
SKATING RINKS, see GYMS		
SKI AREAS –	Without Cafeteria	10
	With Cafeteria in Warming Hut	15
SWIMMING POOLS (Public or Private with Guests)		1000 GPD/800 square ft
TENNIS COURTS	250 GPD/Court	
THEATERS		3 GPD/Auditorium Seat
TOWN HALLS –	Total Seating Capacity	5
TOWN OFFICES –	Office Employees	15
	Transients	5
TRAVEL TRAILER PARKS, see CAMPS		
WORKERS – Construction (At temporary camps)		50
	Day, at Schools and Offices	
	Without Cafeterias	15

Attachment K



SEWER CONNECTION PERMIT

Project Name: Sewer Main Extension
 Location : 11 Sanborn Rd / 14 Page Rd
 Engineer : Hayner/Swanson - James Petropulos, PE

Municipality/POTW : Londonderry
 Official Signature : Robert Kerry - Environmental Engineer
 Date of Request : 12/5/2023

PERMIT/REQUEST NUMBER **D2023-1201**

FLOW : **0** gallons/day APPROVAL DATE **2/6/2024**

The New Hampshire Department of Environmental Services (NHDES) has reviewed and hereby approves the request as follows:
 Approval of the connection to the municipality's wastewater facilities is based on a review of the supporting information submitted and is subject to the conditions indicated below.

CONDITIONS :

Approval applies only to the sewerage plans and sewer connection application received by NHDES.

This approval will become void if the sewerage construction or discharge has not begun within three years of the approval date.

All sewerage construction must comply with the requirements of Chapter Env-Wq 700, the Standards of Design and Construction for Sewerage and Wastewater Treatment Facilities. No deviations from approved plans or specifications shall be made without prior written approval from DES.

DES Approves design plans and specifications for sewer extension (3,763 LF 8" SDR 35 PVC).

Issued by : _____
 Robert A. Daniel, P.E.

WATER DIVISION - WASTEWATER ENGINEERING BUREAU - DESIGN REVIEW SECTION

Attachment L



TOWN OF LONDONDERRY
Department of Engineering and
Environmental Services
268B Mammoth Road
Londonderry, NH 03053
603-432-1100 ext. 137
Fax: 603-432-1128

February 27, 2024

Earl Blatchford
Hayner/Swanson, Inc.
3 Congress Street
Nashua, NH 03062

RE: Town approval of design for Private Sewer Main Extension 11 Sanborn to 14 Page Rd approved in NHDES Sewer Connection Permit D2023- 1201.

Dear Mr. Blatchford:

This letter shall serve as notification of the Town of Londonderry Department of Engineering and Environmental Service's approval of the design approved in NHDES Sewer Connection Permit D2023- 1201 for Private Sewer Main Extension -11 Sanborn to 14 Page Rd., to serve future development of Map 17 Lot 45 and others.

Note that this approval will become void if the sewerage construction or discharge has not begun within three years of the 2-6-2024 NHDES approval date.

Feel free to contact me at 603-432-1100 x-132, if you have any questions or need anything additional.

Sincerely,

Robert Kerry

Robert J. Kerry
Environmental Engineer
Dept. of Engineering and Environmental Services